

Return Address: Jeremy and Danielle Stout
122 Krogstad Road
Washougal, WA 98671

Skamania County
Community Development Department
Building/Fire Marshal • Environmental Health • Planning
Skamania County Courthouse Annex
Post Office Box 1009
Stevenson, Washington 98648
Phone: 509-427-3900 Inspection Line: 509-427-3922

Administrative Decision

APPLICANT: Jeremy and Danielle Stout

PROPERTY OWNER: Jeremy and Danielle Stout, and Vincent and Connie Pangelinan

FILE NO.: NSA-12-39

PROJECT: To construct a single-family dwelling with an attached garage (1880 sq. ft., 20' in height), a detached shop (24' x 30' x 22' (h)), a wood shed (10' x 10' x 11' (h)), a pump house (6' x 10' x 10' (h)), a fence (136' (l) x 5' (h)), rock retaining wall, driveway, onsite septic system, and associated utilities.

LOCATION: 242 Krogstad Road, ^{Washougal, W.S.} ~~Underwood~~, Section 10 of T1N, R5E, W.M. and is identified as Skamania County Tax Lot Number 01-05-10-0-0-0800-00.

LEGAL: See attached page(s) 9.

ZONING: General Management Area- Residential (R-10).

DECISION: Based upon the record and the Staff Report, the application by Jeremy and Danielle Stout, described above, **subject to the conditions set forth in**

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this Decision, is found to be consistent with SCC Title 22 and ~~is hereby approved.~~

Although the proposed development is approved, it may not be buildable due to inadequate soils for septic and/or lack of potable water. These issues are under the jurisdiction of Skamania County's Building Division and the Skamania County Environmental Health Division.

Approval of this request does not exempt the applicant or successors in interest from compliance with all other applicable local, state, and federal laws.

CONDITIONS OF APPROVAL:

The following conditions are required to ensure that the subject request is consistent with Skamania County Code Title 22. **This document, outlining the conditions of approval, must be recorded by the applicant in the deed records of the Skamania County Auditor** in order to ensure notice of the conditions of approval to successors in interest. SCC §22.06.120(C)(2).

- 1) As per SCC §22.06.120(C)(2), this Administrative Decision ~~shall be recorded~~ by the applicant in the County deed records prior to commencement of the approved project.
- 2) All developments shall be consistent with the enclosed site plan, unless modified by the following conditions of approval. If modified, the site plan shall be consistent with the conditions of approval. (See attached)
- 3) All structures, except fences, including eaves, awnings and overhangs shall meet the following setbacks: **Front yard:** 50 feet from the centerline of the street or road or 20 feet from the front property line, whichever is greater. **Side yard:** 20 feet. **Rear yard:** 20 feet. Setbacks are established from property lines, not fence lines. If any question arises regarding the location of the property lines, the applicant shall be required to hire a professional land surveyor to locate the property lines and mark them with temporary staking prior to a building permit being issued. Staking must remain during construction and all building inspections.
- 4) A ~~front~~ variance shall be granted to the front yard setback to allow for the single-family dwelling and attached garage to be constructed as shown on the site plan.
- 5) A variance shall be granted to the 200 ft forest buffer along the front property line to allow for the structures to be constructed as shown on the site plan.
- 6) The following Fire Safety Provisions shall be applied to the single-family dwelling:

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- a) All buildings shall be surrounded by a maintained fuel break of fifty (50) feet. Irrigated or fire resistant vegetation may be planted within the fuel break, including green lawns and low shrubs (less than twenty-four (24) inches in height). Trees should be placed greater than fifteen (15) feet between the crowns and pruned to remove dead and low (less than eight (8) feet) branches. Accumulated leaves, needles and other dead vegetation shall be removed from beneath trees.
 - b) Buildings with plumbed water systems shall install at least one (1) standpipe at a minimum of fifty (50) feet from the structure(s).
 - c) A pond, stream, tank or sump with storage of not less than 1,000 gallons, or a well or water system capable of delivering twenty (20) gallons per minute shall be provided. If a well pump is located on-site, the electrical service shall be separate from the dwelling.
 - d) Access drives shall be constructed to a minimum of twelve (12) feet in width and not exceed a finished grade of twelve percent (12%). Turnouts shall be provided at a minimum of every 500 feet. Access drives shall be maintained to a level that is passable to fire equipment. However, variances to road provisions may be made after consultation with the local fire marshal and the Washington State Department of Natural Resources.
 - e) Within one (1) year of the occupancy of a dwelling, the Administrator shall conduct a review of the development to assure compliance with these this section.
 - f) Telephone and power supply shall be underground whenever possible.
 - g) Roofs of structures should be made of fire-resistant materials, such as fiberglass shingle or tile. Roof materials such as cedar shake and shingle should not be used.
 - h) Any chimney or stovepipe on any structure for use with a wood stove or fireplace should be screened with no coarser than a quarter (1/4) inch mesh metal screen that is noncombustible and corrosion resistant and should be equipped with a spark arrestor.
 - i) All structural projections such as balconies, decks and roof gables should be built with fire resistant materials equivalent to that specified in the Uniform Building code.
 - j) Attic openings, soffit vents, foundation louvers or other ventilation openings on dwellings and accessory structures should be screened with no coarser than a quarter (1/4) inch mesh metal screen that is noncombustible and corrosion resistant.
- 7) Only that grading which is necessary for site development (building pads, utilities, etc.) is permitted. All graded areas shall be re-seeded with native vegetation prior to final inspection by the Community Development Department
- 8) Planted vegetation shall be maintained to ensure survival.
- 9) The applicant and/or property owner shall be responsible for ~~planting~~ and maintaining a minimum of ~~three screening trees southwest~~ of the single-family dwelling with attached garage, and ~~three screening trees to be planted southeast of the single-family dwelling~~ and southwest of the detached shop as shown on the site plan. The screening trees shall

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- be 3' – 5' at the time of planting and should be installed as soon as practicable and prior to project completion.
- 10) ~~At least three~~ of the six trees planted for screening purposes shall be species native to the setting. Such species include Douglas fir, grand fir, ~~western red cedar~~, western hemlock, big leaf maple, vine maple, red alder, ponderosa pine, Oregon white oak and various native willows (for riparian areas).
 - 11) At least ~~three of the six trees~~ planted for screening purposes shall be coniferous to provide winter screening.
 - 12) Except as necessary for construction of access roads, building pads, leach fields, etc., the existing tree cover screening the development from key viewing areas shall be retained, as marked on the site plan be staff.
 - 13) The exterior of the proposed structure shall be dark earth-tone in color. The exterior includes, but is not limited to, sides, doors, garage doors, decks, gutters, roofs, trim, and fences. The following colors submitted by the applicant are consistent with this condition and are hereby approved: for the structures exterior walls – Valspar Mudslide #2006-9A; trim – Valspar Hubbell House Clay #2006-9B; and roofing – IKO Cambridge architectural shingles in Weatherwood. Any proposed changes to these colors shall be submitted for review by the Community Development Department prior to construction.
 - 14) The structures shall be composed of non-reflective materials or materials with low reflectivity. The proposed Hardi Plank siding, LP Smart Panel wood and trim, composition roofing, and pressure treated fencing materials meet this criterion.
 - 15) All exterior lighting shall be hooded or shielded at a 90° angle. Hoods/shields should be made of a non-reflective, opaque material, which does not allow light to pass through.
 - 16) The height of the single-family dwelling and attached garage shall not exceed 19 feet as measured from slab on grade to roof peak or 21 feet from top of footer to roof peak. The height of the shop shall not exceed 22 feet as measured from the top of footer to roof peak.
 - 17) The applicant shall meet all conditions of approval enacted to achieve visual subordination prior to final inspection by the Community Development Department. The applicant is to coordinate all inspections with the Building Division. A final inspection approval will not be issued until compliance with all conditions of approval; including visual subordination criteria have been verified.
 - 18) The Community Development Department will conduct at least two site visits during construction, one to verify the location of the structures as stated by the Administrative Decision and a second to be conducted after all foundation excavation has been completed including framing footers, but prior to pouring the foundation. A site visit for

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Final Inspection shall also be conducted. Each inspection may take up to four business days from the time of calling for the inspection. Inspections should be arranged by calling the Community Development inspection line at 509-427-3922 or through the permit center public portal at <https://co-skamania-wa.smartgovcommunity.com/portal/Public/Home>.

- 19) The following procedures shall be effected when cultural resources are discovered during construction activities:
- a) **Halt Construction.** All construction activities within 100 feet of the discovered cultural resource shall cease. The cultural resources shall remain as found; further disturbance is prohibited.
 - b) **Notification.** The project applicant shall notify the Administrator and the Gorge Commission within twenty-four (24) hours of the discovery. If the cultural resources are prehistoric or otherwise associated with Native Americans, the project applicant shall also notify the Indian tribal governments within twenty-four (24) hours.
 - c) **Survey and Evaluations.** The Gorge Commission shall survey the cultural resources after obtaining written permission from the landowner and appropriate permits from the DAHP. (See Revised Code of Washington 27.53) It shall gather enough information to evaluate the significance of the cultural resources. The survey and evaluation shall be documented in a report that generally follows the provisions in Section 22.22.030 of this Chapter. Based upon the survey and evaluation report and any written comments, the Administrator shall make a final decision on whether the resources are significant. Construction activities may recommence if the cultural resources are not significant.
 - d) **Mitigation Plan.** Mitigation plans shall be prepared according to the information, consultation and report provisions contained in Section 22.22.050 of this Chapter. Construction activities may recommence when conditions in the mitigation plan have been executed.
- 20) The following procedures shall be effected when human remains are discovered during a cultural resource survey or during construction. Human remains means articulated or disarticulated human skeletal remains, bones or teeth, with or without attendant burial artifacts.
- a) **Halt of Activities.** All survey, excavation and construction activities shall cease.
 - b) **Notification.** Local law enforcement officials, the Administrator, the Gorge Commission, and the Indian tribal governments shall be contacted immediately.

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- c) Inspection. The county coroner, or appropriate official, shall inspect the remains at the project site and determine if they are prehistoric/ historic or modern. Representatives of the Indian tribal governments shall be contacted immediately and have an opportunity to monitor the inspection.
- d) Jurisdiction. If the remains are modern, the appropriate law enforcement official shall assume jurisdiction and the cultural resource protection process may conclude.
- e) Treatment. The procedures set out in RCW 27.44 and 68.05 shall generally be implemented if the remains are prehistoric/ historic. If human remains will be reinterred or preserved in their original position, a mitigation plan shall be prepared in accordance with the consultation and report requirements set out in Section 22.22.050 of this Chapter. The mitigation plan shall accommodate the cultural and religious concerns of Native Americans. The cultural resource protection process may conclude when conditions set forth in Section 22.22.050(C) of this Chapter are met and the mitigation plan is executed.

Dated and Signed this 26th day of June, 2013, at Stevenson, Washington.


 Jessica Davenport, Planning Manager
 Planning Division

NOTES

Any new residential development, related accessory structures such as garages or workshops, fences, and additions or alterations not included in this approved site plan, will require a new application and review.

EXPIRATION

As per SCC §22.06.150(A), this Administrative Decision approving a proposed development action shall become void in two years if the development is not commenced within that period, or once development has commenced the development action is discontinued for any reason for one continuous year or more.

If the development does not include a structure the permit shall expire two years after the date the land use approval was granted unless the use or development was established according to all

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specifications and conditions of approval in the approval. For land divisions, "established" means the final deed or plat has been recorded with the county auditor.

If the development includes a **structure** the permit shall expire when construction has not commenced within two (2) years of the date the land use approval was granted; or once the structure has been started and if the structure has not been completed within two (2) years of the date of commencement of construction the permit shall expire. Completion of the structure for this purpose means the completion of the exterior surface(s) of the structure; and compliance with all conditions of approval in the land use approval, including, but not limited to, painting of the exterior of the structure.

APPEALS

The Director reserves the right to provide additional comment and findings of fact regarding this decision, if appealed.

This Administrative Decision shall be final unless reversed or modified on appeal. A written Notice of Appeal form must be filed by an interested person within 20 days from the date hereof. Appeals are to be made to the Skamania County Hearing Examiner, P.O. Box 1009, Stevenson, WA 98648. Notice of Appeal forms and mailing lists are available at the Community Development Department and must be accompanied by a ~~\$12,450.00~~ nonrefundable-filing fee and a Certificate of Mailing.

The final determination of the Environmental Threshold Determination related to this underlying government action can be appealed to a court of competent jurisdiction, along with the underlying government action, only by the parties with standing to the Environmental Threshold Determination. If the underlying government action was exempt from SEPA review, this section does not apply.

WARNING

On November 30, 1998 the Columbia River Gorge Commission overturned a Skamania County Director's Decision 18 months after the 20 day appeal period had expired. You are hereby warned that you are proceeding at your own risk and Skamania County will not be liable for any damages you incur in reliance upon your Administrative Decision or any amendments thereto.

A copy of the Decision was sent to the following:

Skamania County Building Division

A copy of this Decision, including the Staff Report, was sent to the following:

Persons submitting written comments in a timely manner
 Yakama Indian Nation
 Confederated Tribes of the Umatilla Indian Reservation

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Confederated Tribes of the Warm Springs (electronic)
Nez Perce Tribe
Cowlitz Tribe
Department of Archaeology and Historic Preservation
Columbia River Gorge Commission (electronic)
U.S. Forest Service - NSA Office (electronic)
Board of County Commissioners (electronic)
State of Washington Department of Commerce – Paul Johnson (electronic)
Department of Fish and Wildlife (electronic)
Washington Natural Heritage Program (electronic)

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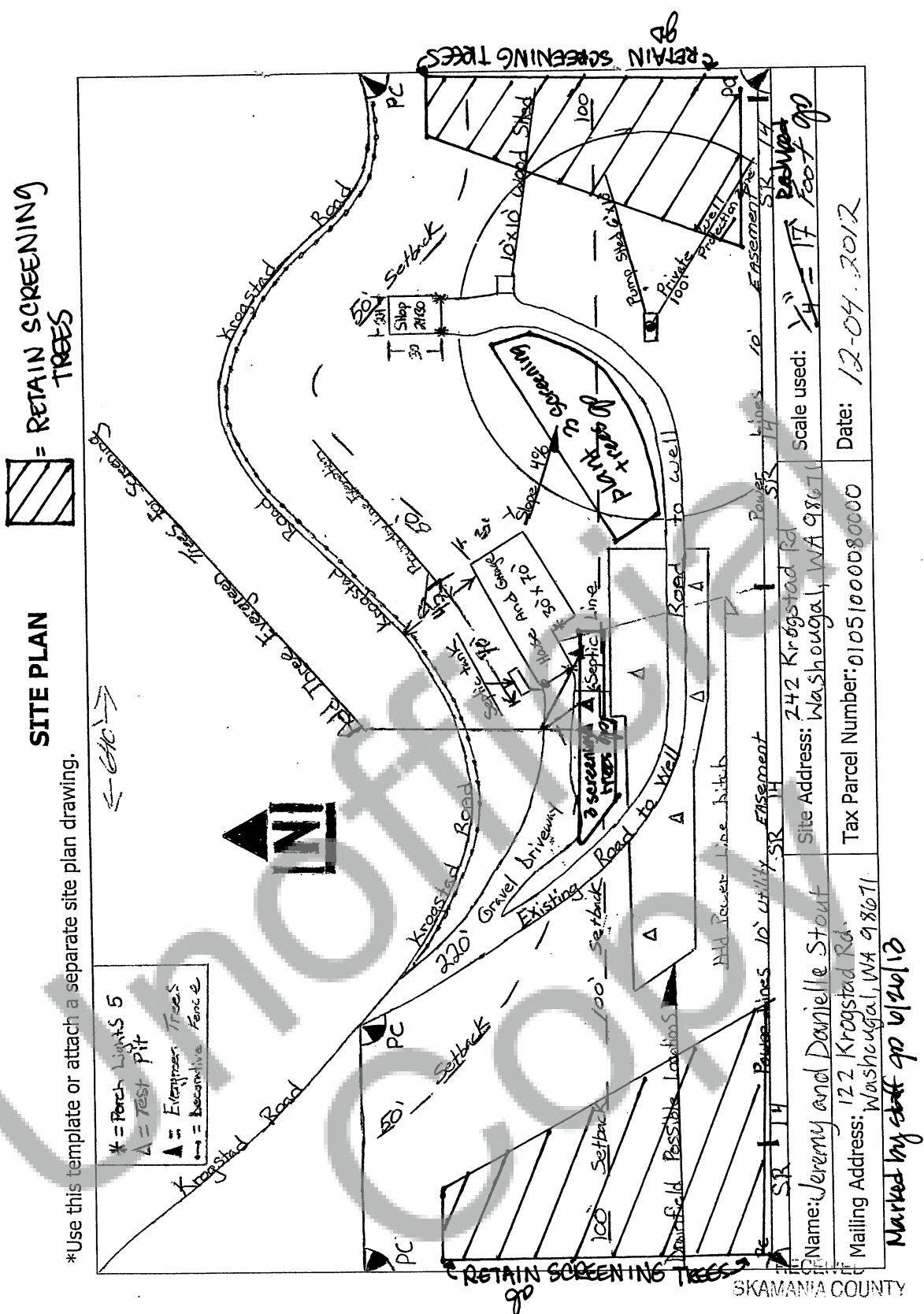
EXHIBIT "A"

All of the West half of the Southeast quarter of the Northeast quarter of Section 10, Township 1 North, Range 5 East, in the Willamette Meridian, County of Skamania and State of Washington, lying North of the North line of State Highway No. 8 and Southerly of Krogstead Road.

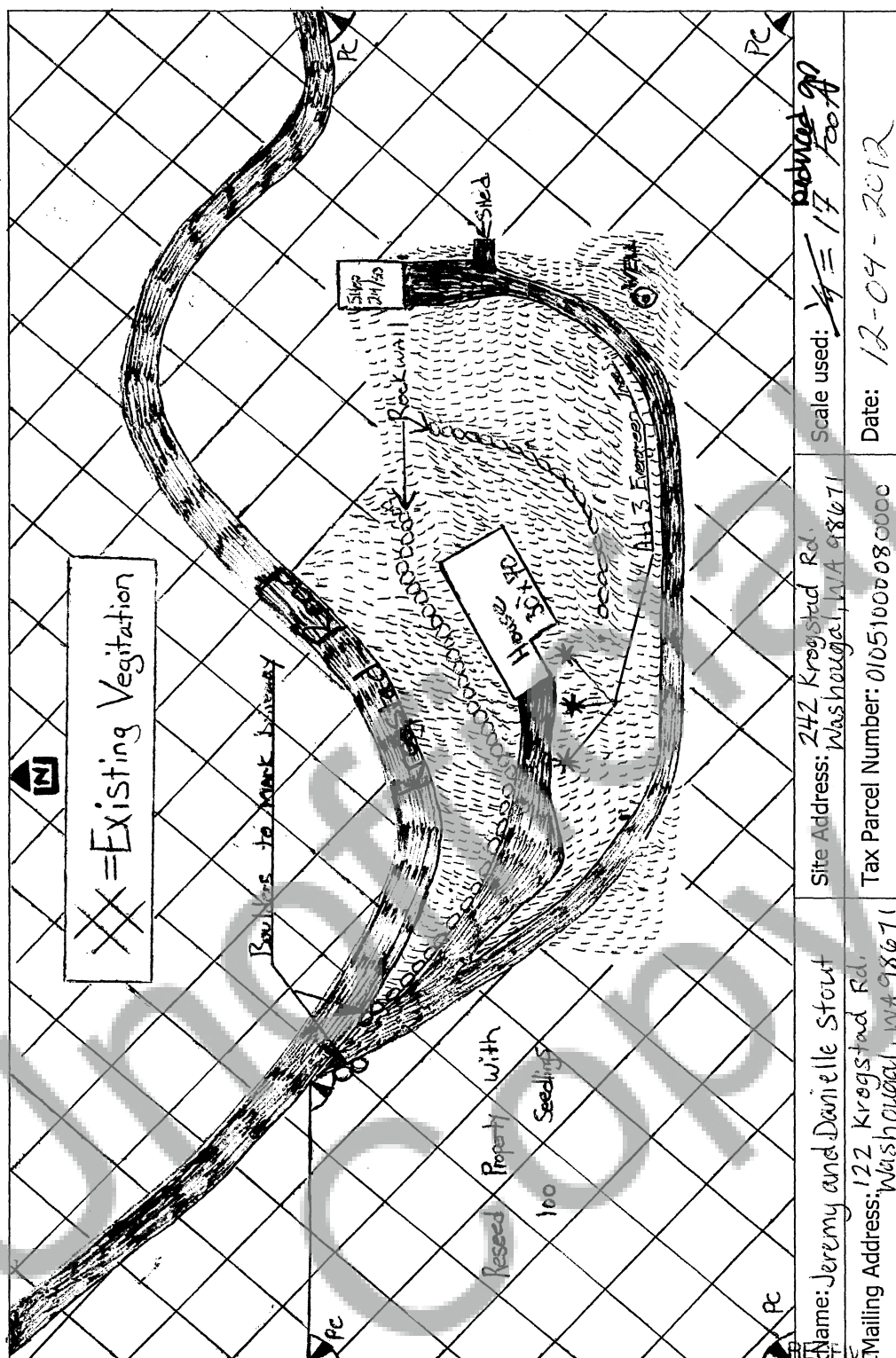
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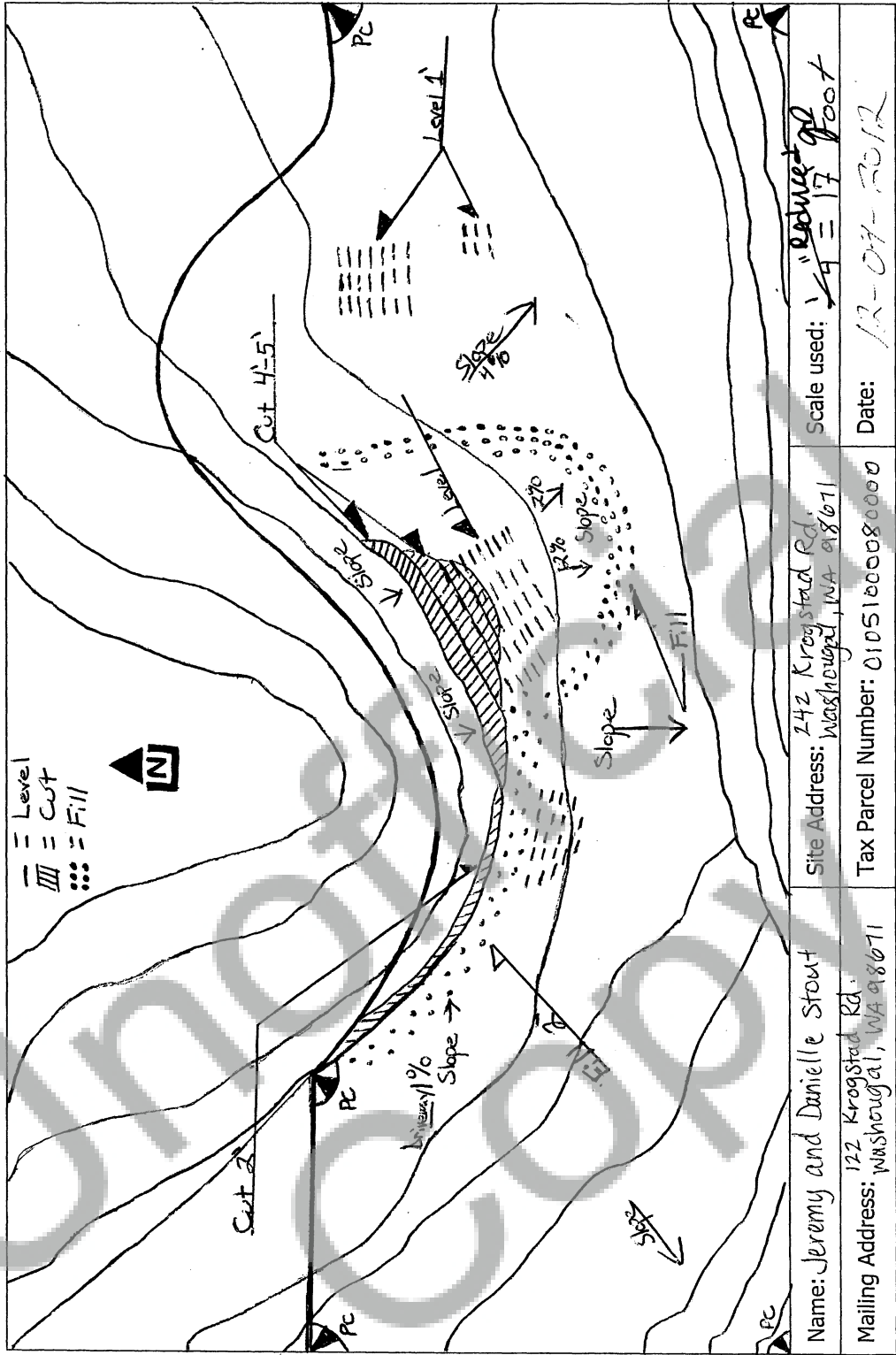
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Skamania County Community Development Department
National Scenic Area Land Use Application (Includes Site Analysis Level II review process requirements as per Resolution 2011-23)
Last Updated: June 13, 2011

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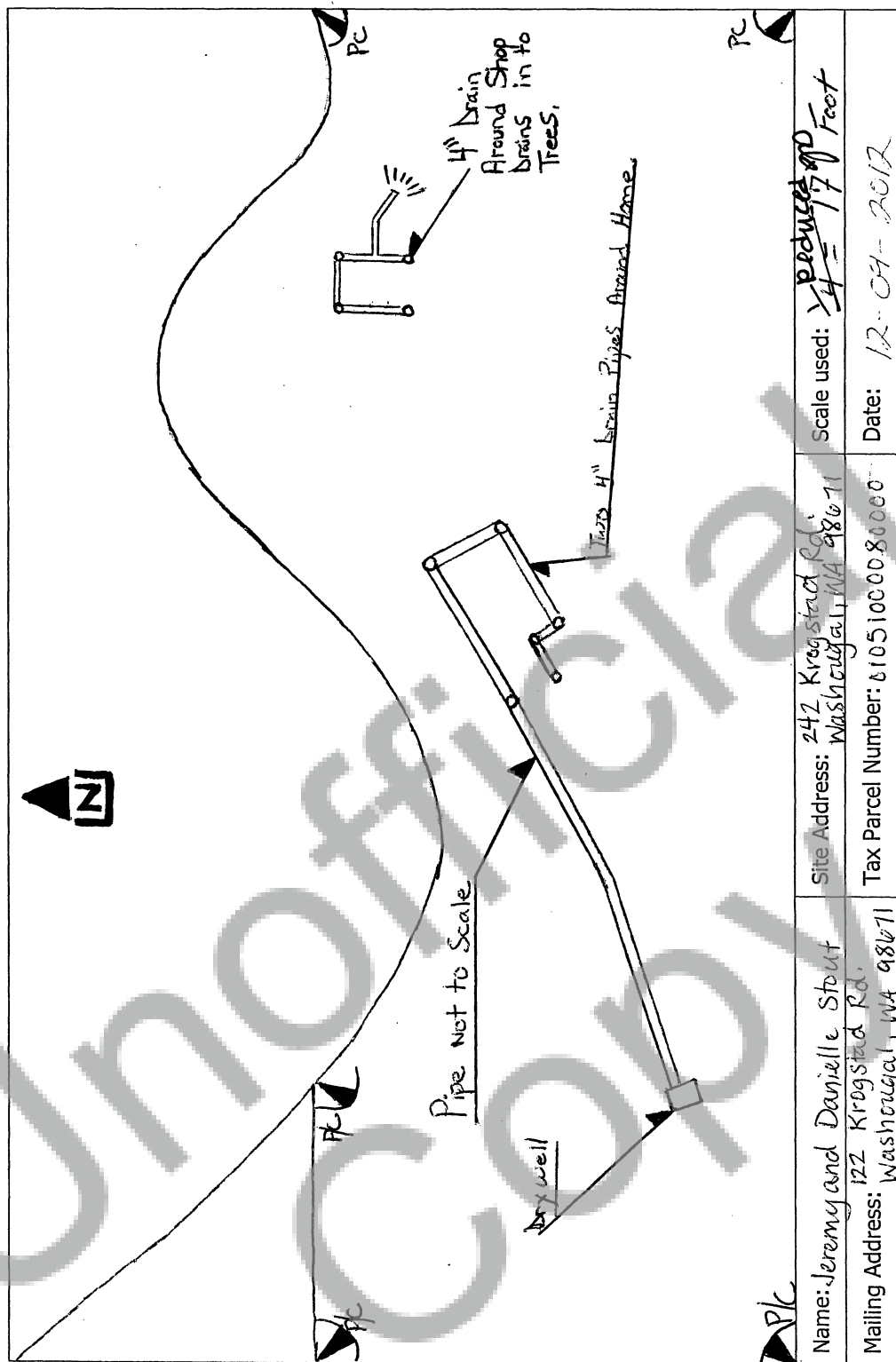
Excavation PLAN

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Drainage — PLAN

*Use this template or attach a separate site plan drawing.

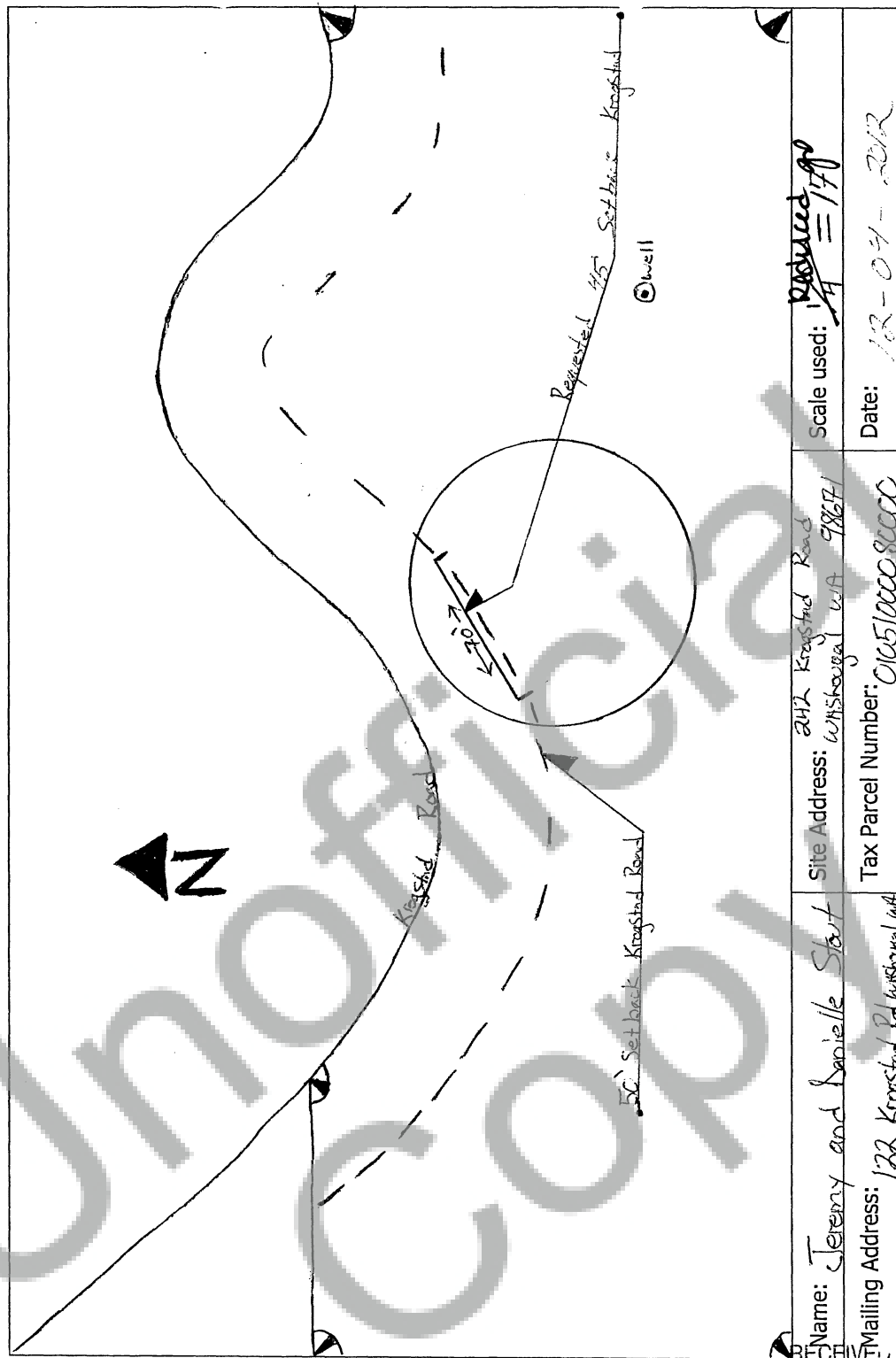


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Set back Adjustment PLAN

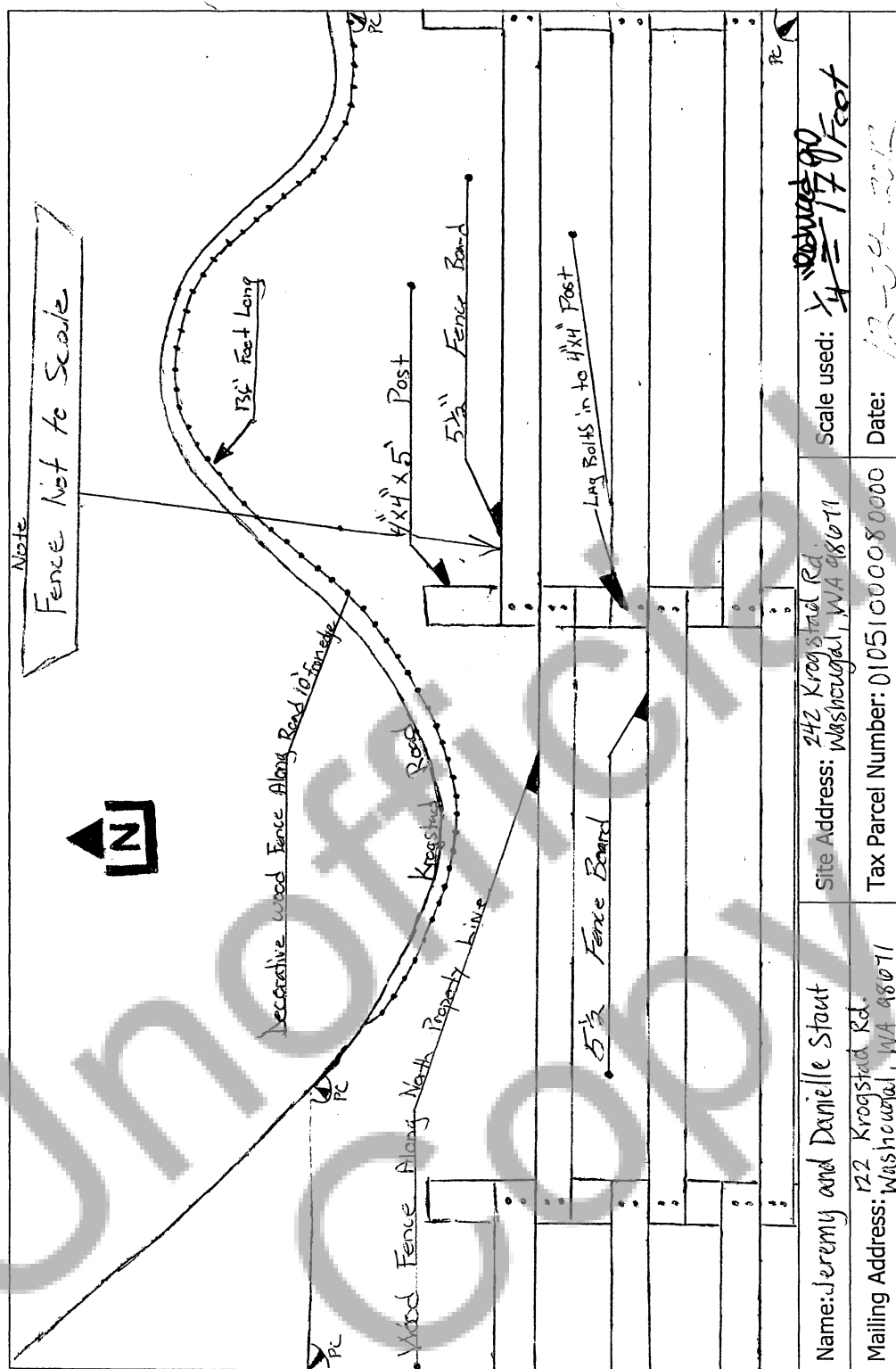
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Name: Jeremy and Danielle Stort	Site Address: 2412 Krogstad Road Washougal WA 98671	Scale used: Reduced 1/4" = 17' 0"
Mailing Address: 122 Krogstad Rd Washougal WA	Tax Parcel Number: 01051000080000	Date: 12-04-2012

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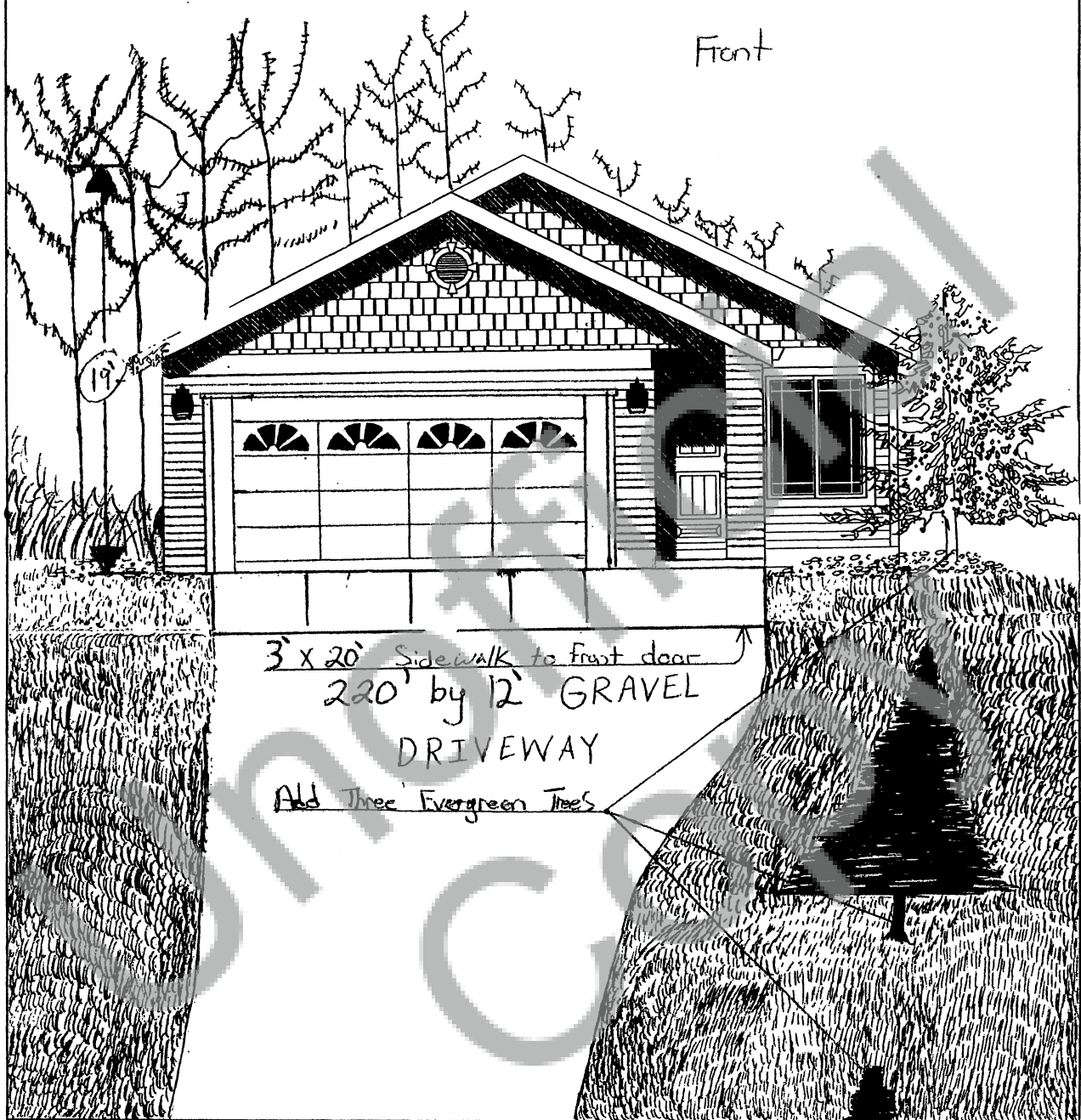
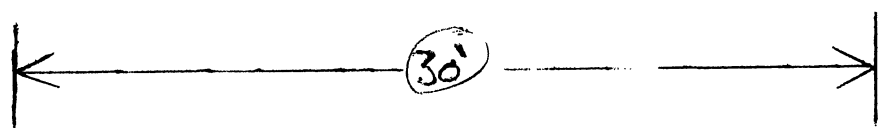
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ELEVATION DRAWINGS:

Tax ID: 01051000080000
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SCALE: 1"=6.5'



Additional pages must have 1" margin.

Elevation drawings must be in ink.

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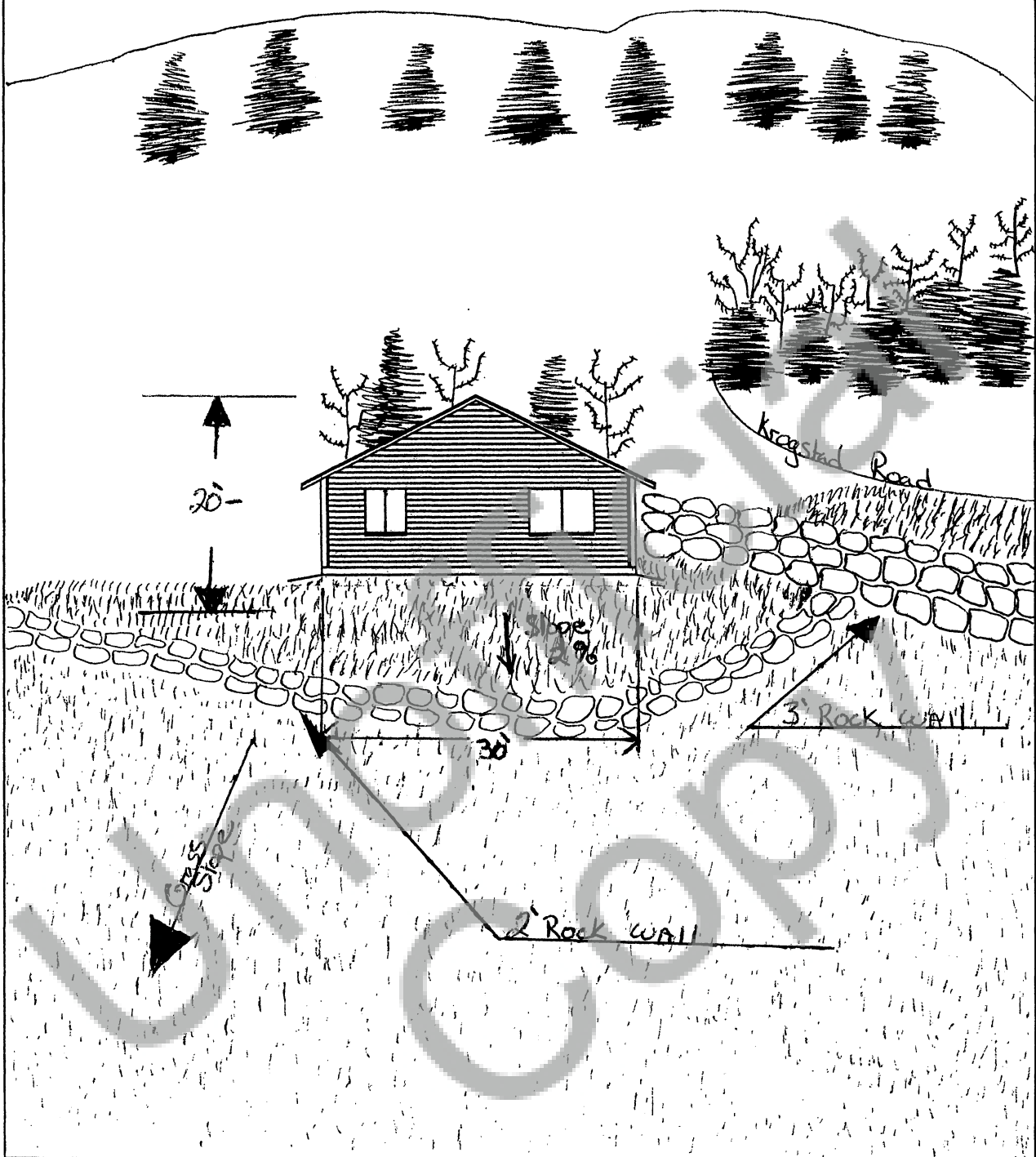
ELEVATION DRAWINGS:

SCALE: $\frac{1}{4}" = 4'$



Tax ID: 01051000080000
Stout

Back Elevation



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Elevation drawings must be in ink.

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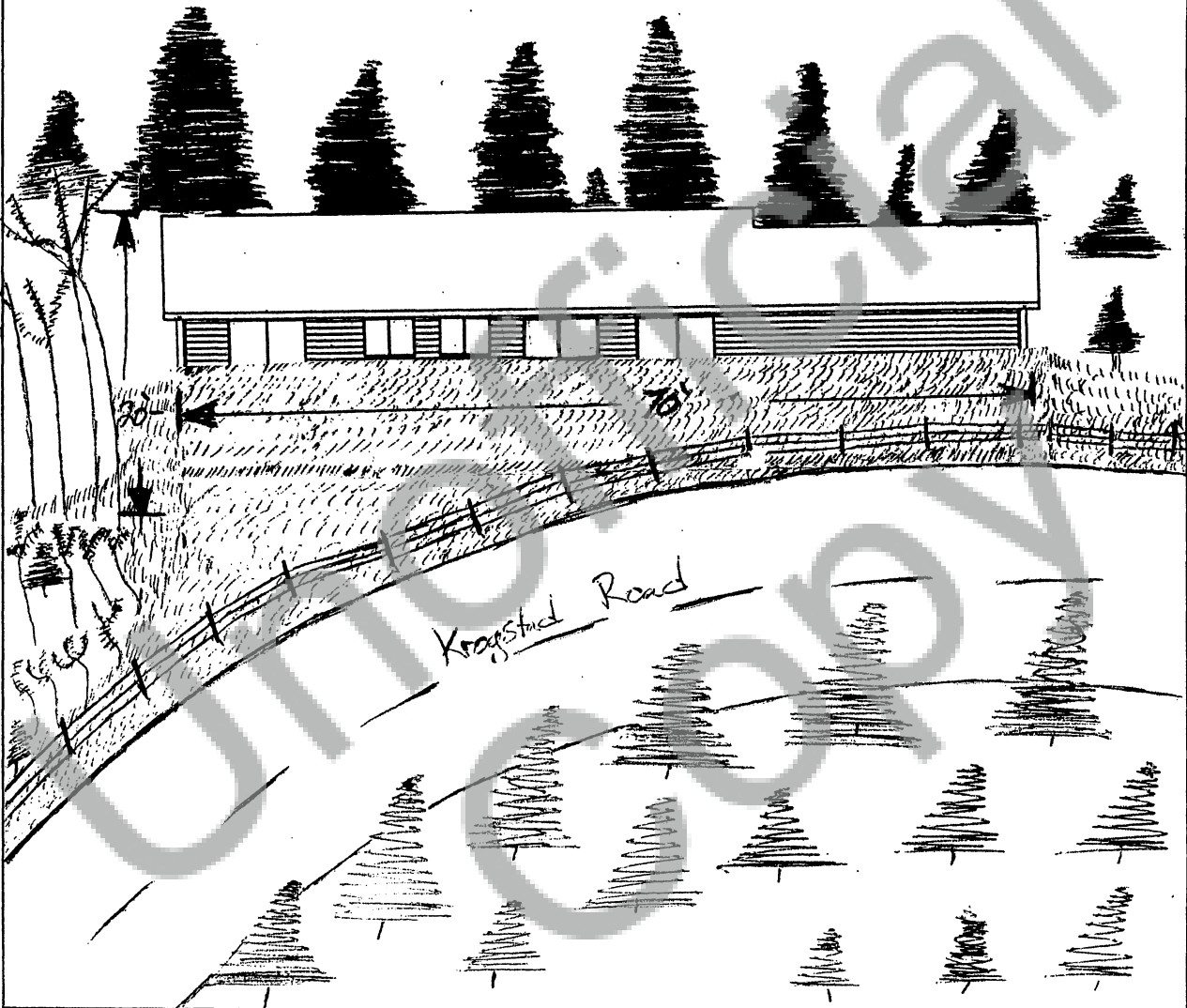
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ELEVATION DRAWINGS:

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Scale = 1" = 15'
Side



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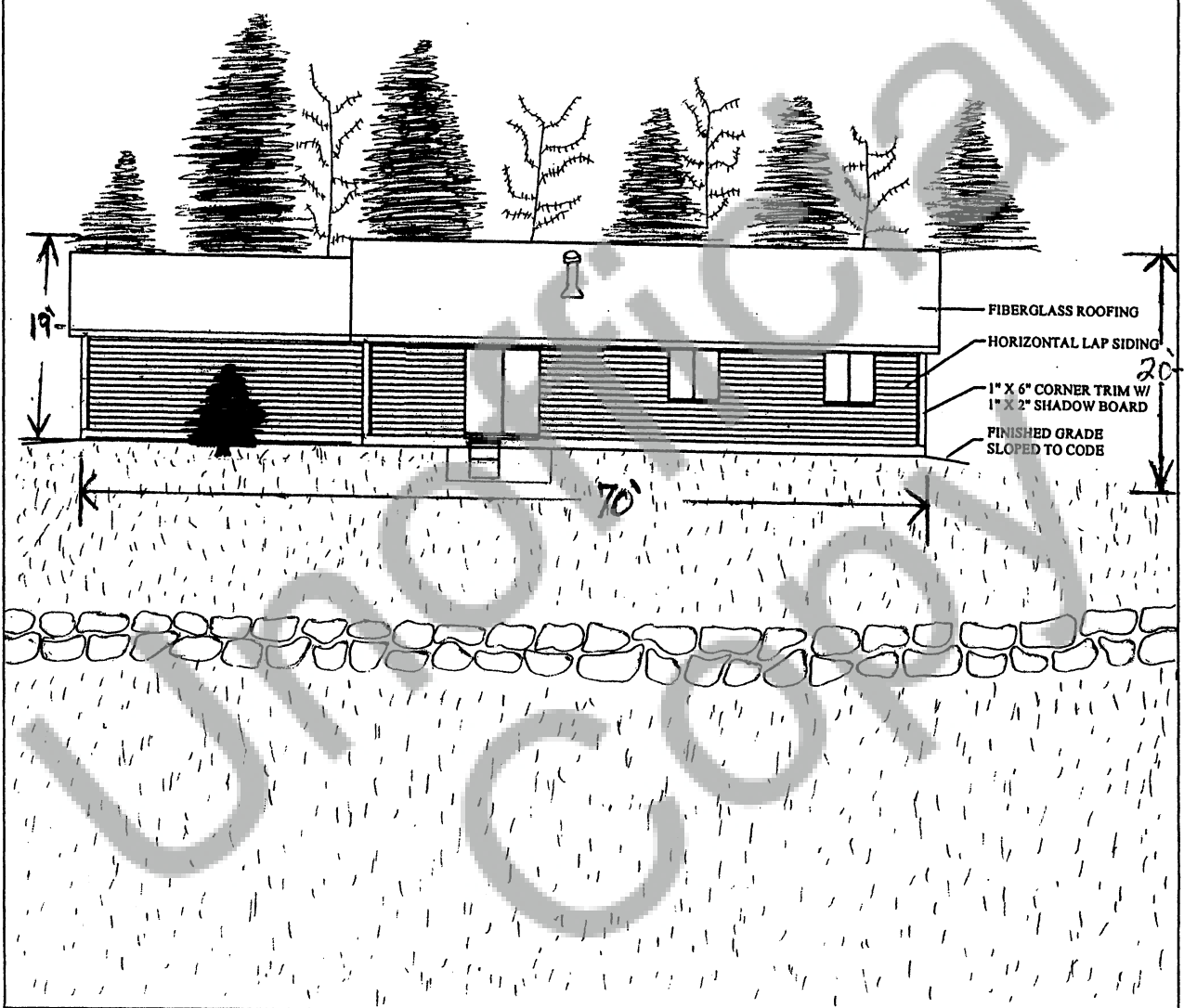
ELEVATION DRAWINGS:

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Stout

1" = 15' SCALE



Side



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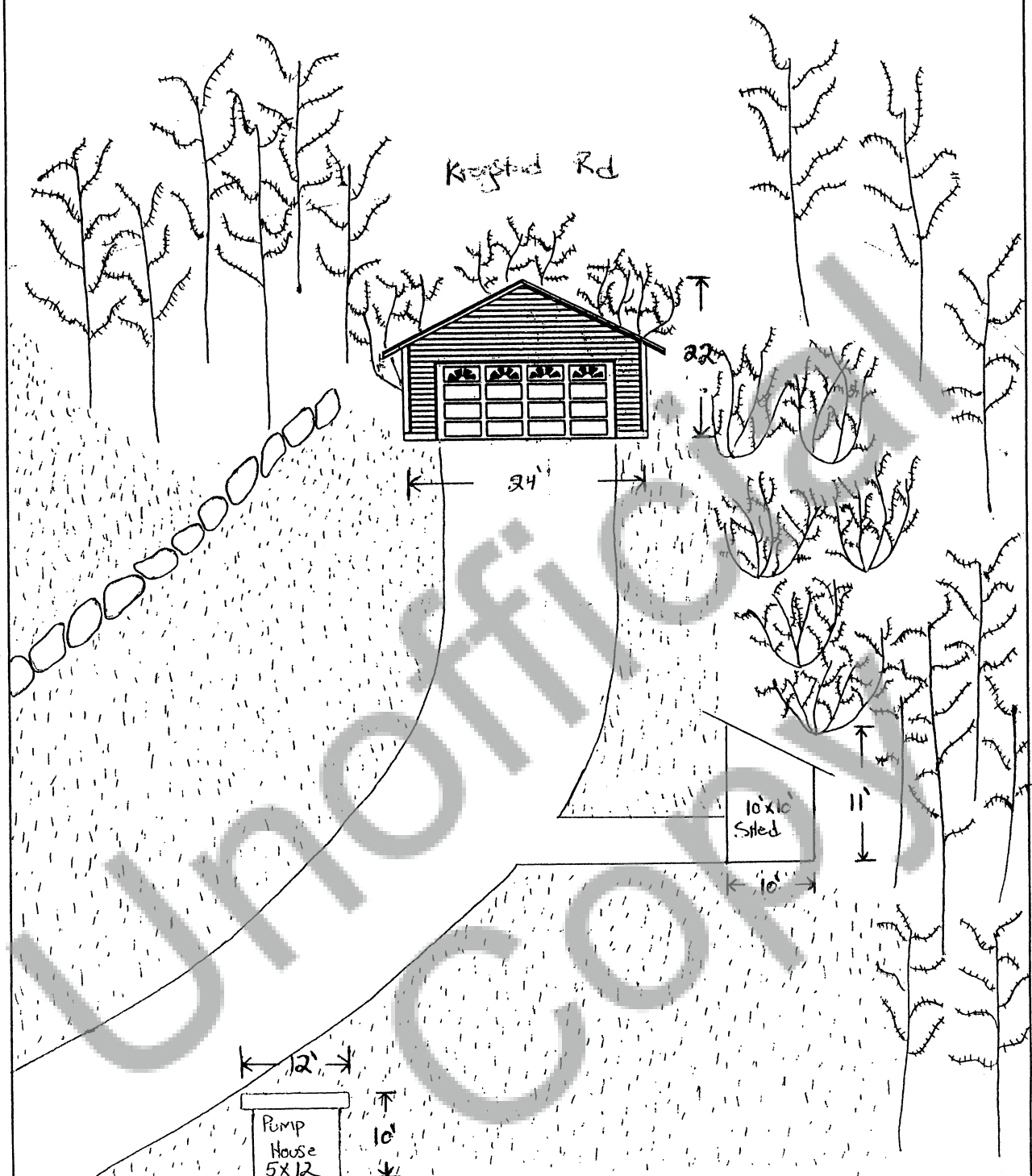
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ELEVATION DRAWINGS: Shop Front

TaxID: 01051000080000
Stout

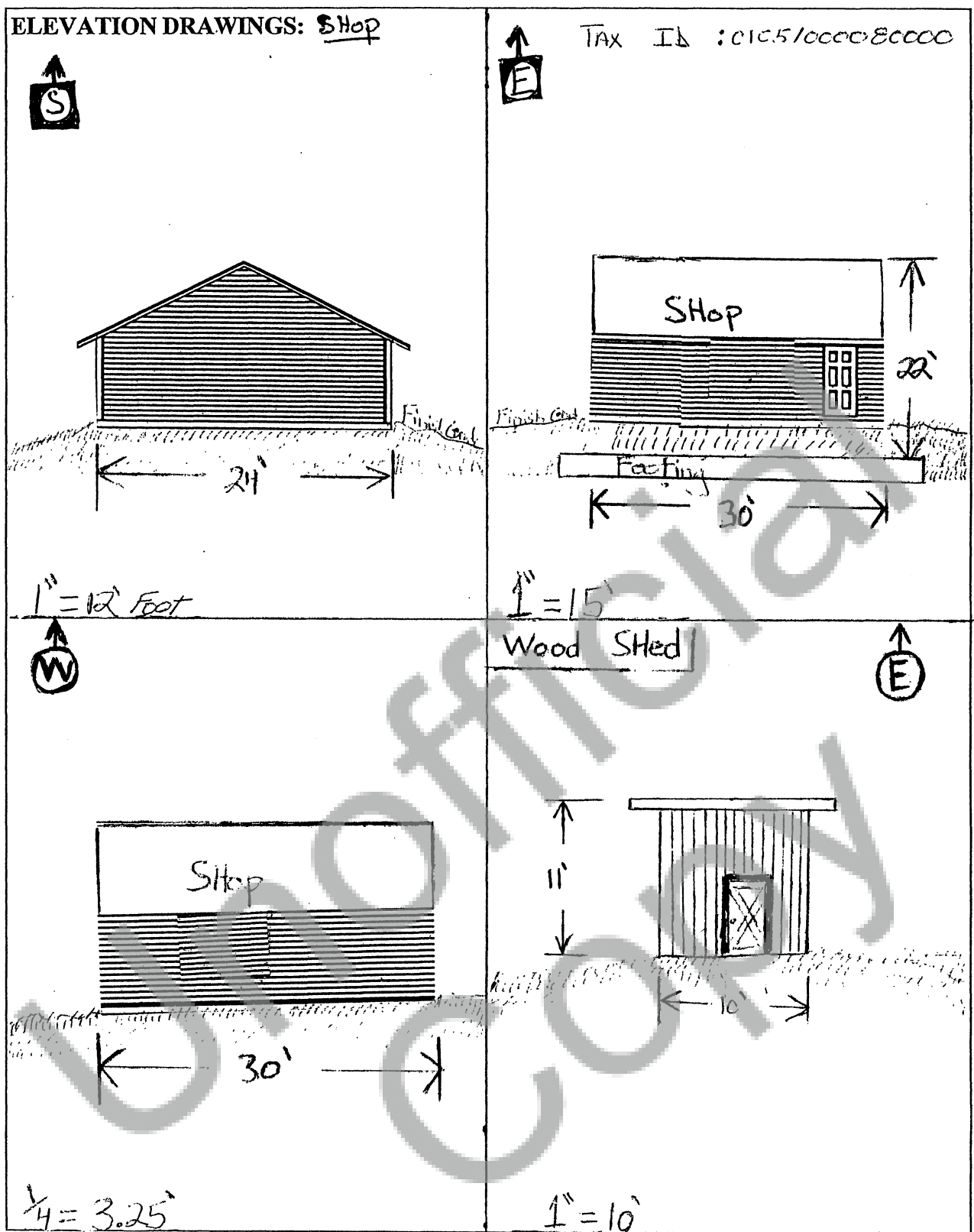
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Elevation drawings must be in ink

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