

Return Address: Wolfe Enterprises
Attn: Bob Wolfe
P.O. Box 974
The Dalles, OR 97058

Skamania County Community Development Department

Skamania County Courthouse Annex
Post Office Box 790
Stevenson, Washington 98648
509 427-3900 FAX 866 266-1534

Letter Amendment to Administrative Decision NSA-07-72-L2

**APPLICANT/
OWNER:**

Bob Wolfe for James Laraway

FILE NO.:

Amendment to NSA-07-72

REFERENCE NO.:

Administrative Decision for NSA-07-72, recorded as Auditor's File # 2008169098, recorded on February 26, 2008, in the Skamania County Auditor's Office. Letter Amendment NSA-07-72-L1, recorded as Auditor's File # 2010175213, recorded on April 1, 2010, in the Skamania County Auditor's Office.

PROJECT:

To reconstruct the single-family dwelling that was destroyed in the Underwood fire. The dwelling will be replaced including a 10% expansion of the footprint on the south side. The dwelling will use the same materials as the original home, cedar siding stained dark brown and matte brown ceramic tile roof. This Letter Amendment proposes changes to the design of the replacement home.

LOCATION:

62 Gosnell Road, Underwood; Section 21 of T3N, R10E, W.M. and identified as Skamania County Tax Lot #03-10-21-3-0-0704-00.

LEGAL:

Lot 1 of Gosnell View Tracts, Book A Page 129.

ZONING:

General Management Area – Residential (R-5)

Amendment NSA- / 72-12 (Wolfe Enterprises)
Page 2

November 15, 2010

Dear Mr. Wolfe,

The Community Development Department issued a final Administrative Decision on January 25, 2008 for the above referenced application. A 12-month extension was granted to the validity of the land use decision subject to Section 22.06.150(B). A Letter Amendment, NSA-07-72-L1, approved the replacement of the septic system on February 22, 2010. On July 26, 2010 Mr. James Laraway took ownership of the subject property, tax parcel no. 03-10-21-3-0-0704-00.

On September 23, 2010 our department received an application for a National Scenic Area Letter Amendment from you in order to change the design of the single-family dwelling, see attached elevation drawings and site plan. Additional information regarding the details of the proposed changes were submitted by you on November 3, 2010. The house location will remain the same as previously approved in the Letter Amendment NSA-07-72-L1, which is the same as the original location with the footprint shifted slightly from a straight north-south orientation to the northwest-southeast orientation as shown on the attached site plan. The landscaping will be the same as that which was proposed and approved in the original Administrative Decision.

Skamania County Code Title 22 Section 22.06.161(C)(3) requires that:

(3) The replacement structure shall be the same size and height as the original structure provided:

(a) The footprint of the replacement structure may be up to ten percent (10%) larger than the footprint of the original structure.

Finding: The original Staff Report for NSA-07-72 stated, "The original footprint for the destroyed structure was approximately of 1,704 square feet in size (size of the basement). The applicant has proposed to rebuild with a three-foot expansion off the south side of the dwelling. This expansion will be approximately 3' x 52' approximately 152 square feet in size, making for a total footprint of 1,856 square feet. This proposed footprint is an increase less than 10%. A 10% increase would allow for a 1874.40 square foot footprint." These measurements were based on the Skamania County Assessor's records at the time of the review of the original National Application, NSA-07-72, to replace the single-family dwelling that was destroyed by fire.

The proposal submitted by the applicant for this Letter Amendment, NSA-07-72-L2, discusses the measurements of the footprint of the original house. "Please find attached the measurements and square footage of the foundation from the existing house including the appropriate scale. These dimensions of the original foundation agree with those shown for the footprint of the existing founding in the existing permit. However, we find an error in the square footage listed in the finding for the existing permit. We have accurately measured these dimensions to the nearest inch, and including the garage the total previous structure footprint is 2,036 square feet. Allowing 10% additional provides for a new structure footprint maximum of 2,240 square feet (not the 1,874.40 square feet noted in the permit). We are proposing a structure footprint of 2,238.5 square feet, less than the allowable 10% increase. The existing foundation is still remaining allowing for

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Page 3

easy verification of its dimensions. A scale is included with each drawing. In addition, the existing permit has a deck area of 388 square feet. We have reduced this area to 192 square feet, 128 square feet of which is recessed into the interior of the house. This provides a net visual reduction of the decks size of 324 square feet or 64 square feet which is a visual reduction of 83.5% from the current permit."

On November 10, 2010, Community Development staff visited the subject property and measured the existing foundation that remains from the original structure. Staff verified that the actual existing foundation does match the applicants measurements included above, which is 2,036 square feet. The allowable 10% increase does allow for the new structure to have a maximum footprint of 2,240 square feet. The proposed footprint of 2,238.5 (rounded up to 2,239 square feet) is under the maximum size allowed.

Conclusion: CONDITION OF APPROVAL number 21 shall be added to state that the single-family dwelling shall be allowed to have a maximum footprint of 2,240 square feet.

(b) The walls of the replacement structure shall be the same height as the walls of the original structure unless a minor increase is required to comply with standards in the current jurisdictional building code.

Finding: The original Staff Report for NSA-07-72 stated "The original structure had a height of 33 feet. The applicant is proposing to maintain the same height for the new structure" and concluded that the proposed replacement structure would have walls the same height as the original structure.

The proposal submitted by the applicant for Letter Amendment NSA-07-72-L1 discusses the wall height of the proposed height, stating "The permitted overall height is 33 feet from the top of the footing to the top of the structure. Due to the fact that the amended design uses a 1 ¼ / 12 pitch flat type roof as opposed to the permitted peak design of a 5/12 pitch, the permitted height of 33 feet would be to the top of the highest wall. We are proposing that the top of the highest wall will be 32.5 feet on the southwest corner of the structure (over the area with the subbasement). Note that the footer of this subbasement is subgrade, so the above grade height is 28 feet. Further, the grade level on the south side of the house is extended beyond the southeast corner of the house so from no viewpoint from the Gorge area will the house appear to be more than 28 feet above grade. The southwest corner wall height is 30 feet from the top of the footer to the top of the wall. The roof line has been changed from a classical peaked roof as permitted to one of a lesser pitch to minimize overall visual effect. This design will eliminate the previous large expanse of exposed roof so that only the elevation of the house is visible.

"While the current permitted plan meets height requirements from the top of the foundation footing, it exposes a mass of concrete area plus two stories of house above. There was a door and window in the bottom area giving an appearance of mass due to considerable visual presence of the total elevation. By eliminating the door and window from the south side lower basement of the house and providing soil in front of this

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Page 4

foundational area, the visual height of the house is reduced. Further, natural rock will face the remaining area of lower basement making it look like part of the landscape and eliminate reflectivity whereas the original plan was bare concrete."

The applicant submitted new elevation drawings with height measurements showing that the tallest wall will be 32.5' in height with only 28' above grade.

Conclusion: The proposed design changes meet the requirement of the wall height to not exceed 33 feet.

Skamania County Code Title 22 Section 22.06.161(C)(4)(b) requires that:

(b) Decks, verandas, balconies and other open portions of the original structure shall not be rebuilt as enclosed (walls and roof) portions of the replacement structure.

Finding: The applicant has proposed to change the configuration of the deck. There will be two decks that are recessed into the footprint of the originally approved replacement house. The decks will not be enclosed, but will be covered, providing screening for the glass on the patio doors.

Conclusion: The proposed decks are consistent with the above provision, which was included as condition of approval number four of the Administrative Decision for NSA-07-72.

Skamania County Code Title 22 Section 22.18.030(J) requires that:

(J) Unless expressly exempted by other provisions in this chapter, colors of structures on sites visible from key viewing areas shall be dark earth-tones found at the specific site or in the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval. The Scenic Resources Implementation Handbook will include a recommended palette of colors.

Finding: The applicant has proposed changes to the color of the building materials then what was originally approved. They have proposed to paint the house a dark brown matching that of the color found in the Building In the Scenic Area Handbook Recommended Colors Chart, color A-12, the roofing will be composite shingles by CertainTeed in the color Heather Blend, which is dark brown and dark gray in color, and the rock facing on the portion of the exposed basement wall will be faced with Elk Cove Moss from 'Delta' which is a combination of tan/brown/rust colors.

Conclusion: The proposed changes to the colors of the building materials are consistent with the condition of approval from the original Administrative Decision for NSA-07-72 that requires the exterior of the structure be dark earth ton in color, the CONDITION OF APPROVAL shall be modified to state that the exteriors of the structure shall be dark earth tone in color. The exterior includes, but is not limited to, sides, doors, garage doors, decks,

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Page 5

gutters, roofs and trim. The following colors as submitted by the applicant are consistent with this condition and are hereby approved: for the exterior walls and trim – dark brown matching color A-12 from the Recommended Colors Chart in the Building in the Scenic Area Handbook and Elk Cove Moss from 'Delta' for the rock facing; and roofing – CertainTeed Heather Blend. Any proposed changes to these colors shall be submitted for review by the Community Development Department prior to construction.

Skamania County Code Title 22 Section 22.18.030(J) requires that:

(K) The exterior of buildings on lands seen from key viewing areas shall be composed of nonreflective materials with low reflectivity, unless the structure would be fully screened from all key viewing areas by existing topographic features.

(a) Painted metal is not considered to be nonreflective materials or materials with low reflectivity.

(b) The Scenic Resources Implementation Handbook will include a list of recommended exterior materials. These recommended materials and other materials may be deemed consistent with this provision, including those where the specific application meets recommended thresholds in the "Visibility and Reflectivity Matrices" in the Implementation Handbook.

(c) Continuous surfaces of glass unscreened from key viewing areas shall be limited to ensure visual subordination. Recommended square footage limitations for such surfaces will be provided for guidance in the Scenic Resources Implementation Handbook.

Finding: The original application proposed to use cedar siding and matte ceramic roofing shingles, the same materials as that of the house that was destroyed by the fire. These were approved in the original Administrative Decision for NSA-07-72. This letter amendment proposes to use concrete lap siding, composite shingles, and rock facing. These materials are all considered to be nonreflective or materials with low reflectivity.

The applicant has addressed the potential reflectivity of the proposed windows stating "The center section of the south side of the house facing the Gorge is recessed, so that the windows in this section, and indeed this recessed section of the house in general will appear as a black void from the viewing area. A roof section is added over this recessed area to prevent the sun from reflecting off the windows in this section eliminating visibility.

Windows in the recessed area can be considered to be screened. This will serve to break the appearance of the larger area of the front of the house in the original plan to two smaller areas and a visually 'eliminated' area. An extended roof overhang has been added to shade the upper windows to eliminate their visibility.

"As noted in the application, low reflectivity glass is used in all windows with a rating of less than 11% reflectivity, and will be grey or bronze over low E glass. Additionally, the windows will be recessed from the face of the walls by a minimum of 5". This inset will partly shade them partially eliminating sun highlight the window area." These proposed

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Page 6

windows meet the recommended materials found in the Building in the Scenic Area Handbook, for sites that are exposed to foreground locations such as this one.

The original staff report found that "approximately 45% of the south side of the house would be screened by vegetation leaving less than 50 square feet of continuous unscreened glass on the south side of the house." The vegetation remains the same as that which was reviewed in the original application, and the house will be in the same location. With the vegetation and the above measures the applicant will be taking the proposed design change will result in less than 50 square feet of continuous unscreened glass as seen from key viewing areas.

Conclusion: A CONDITION OF APPROVAL shall state that the windows shall be either grey or bronze over low E glass with less than 11% exterior visible light reflectivity rating.

A CONDITION OF APPROVAL shall state that the single-family dwelling shall be constructed in a manner consistent with methods described by the applicant that will eliminate the reflectivity of the glass windows, such as but not limited to the extended overhangs, the recessed portions of the house, and the recessed windows.

Pursuant to SCC §22.06.080(B), a change or alteration to an approved action, if determined to be minor by the Director, may be "deemed consistent with the provisions of this Title and the findings and conclusions on the original application." The proposed requests constitute a minor change; therefore, the original decision shall be amended as stated above.

The revised site plan (see attached page 15), elevation drawings (see attached pages 16-19), and floor plans (see attached pages 20-23) to this Letter Amendment shall replace those attached to the Administrative Decision and Letter Amendment NSA-07-72-L1. The amendment is hereby approved.

All of the original conditions in the Administrative Decision are still valid and shall be complied with. As a reminder, **this letter amendment needs to be recorded at the County Auditor's office prior to the issuance of a building permit.** If you have any questions, please give me a call at 509-427-3900.

Sincerely, *



Jessica Davenport
Associate Planner

cc: Skamania County Building Division

Amendment NSA / 12 12 (Wolfe Enterprises)
Page 7

Persons w/in 500 feet
Yakama Indian Nation
Confederated Tribes of the Umatilla Indian Reservation
Confederated Tribes of the Warm Springs
Nez Perce Tribe
Columbia River Gorge Commission
U.S. Forest Service - NSA Office
Board of County Commissioners (electronic)
Friends of the Columbia Gorge
Department of Archaeology and Historic Preservation
Washington Department of Community Development (electronic)

Attached: Letter Amendment Application and Narrative
Previously Approved Site Plan, Elevation Drawings, Existing Footprint Drawing
Revised Site Plan, Elevation Drawings and Floor Plans
Vicinity Map

APPEALS

The Director reserves the right to provide additional comment and findings of fact regarding this decision, if appealed.

This Administrative Decision shall be final unless reversed or modified on appeal. A written Notice of Appeal form must be filed by an interested person within 20 days from the date hereof. Appeals are to be made to the Skamania County Hearing Examiner, P.O. Box 790, Stevenson, WA 98648. Notice of Appeal forms and mailing lists are available at the Community Development Department and must be accompanied by a \$1,300.00 nonrefundable-filing fee and a Certificate of Mailing.

The final determination of the Environmental Threshold Determination related to this underlying government action can be appealed to a court of competent jurisdiction, along with the underlying government action, only by the parties with standing to the Environmental Threshold Determination. If the underlying government action was exempt from SEPA review, this section does not apply.

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SEP 23 2010

NATIONAL SCENIC AREA LETTER AMENDMENT
(Please complete application in ink)COMMUNITY DEVELOPMENT
DEPARTMENT

Applicant: Wolfe Enterprises E-mail: bobpegwolfe@charter.net
 Address: P.O. Box 974 Home: (541) 993-2080
The Dalles OR 97058 Work: (()) (()) (())
 Property Owner: JAMES W. LARAWAY E-mail: wyeastjwl@comcast.net
 Address: 3974 SCARBOROUGH LN Home: (360) 606-2545 (COR)
WEST JORDAN, UTAH 84084 Work: (801) 844-4534
 Site Address: 62 Gosnell Rd Underwood WA
 Tax Lot/Parcel # 03-10-21-3-0-0704
 Location of Property: Lot 1 of Gosnell View Tracts

Minor Modification Project Description (Attach additional sheets if necessary):

See AttachedAttached Plans (if applicable): ☒ Modified Site Plan ☒ Modified Elevation ☐ Other

Applicant signature(s):

WolfeDate: 9-20-10

Owner signature(s):

James W. LarawayDate: 9-20-2010

Signature of the property owner(s) authorizes the Community Development Department and other Agency personnel reasonable access to the site in order to evaluate the application.

FOR DEPARTMENT USE ONLY

Legal description attached: Yes / No

Date received 9/23/10Date complete 9/23/10Receipt # 007157 \$300.00File # NSA-07-72-12CR # 5340

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09/20/10

Jim Laraway
Site: 62 Gosnell Road
Underwood, Washington
Lot 1 of Gosnell View Tracts

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Minor Modification Project Description: modified elevation and footprint of house.

- House location and most of footprint to remain the same as permitted, change only on South side of foot print
- Landscaping to be the same as on existing permitted plan
- 1 ½ x 12 pitch roof to lower elevation
- Recessed and covered decks to mitigate patio window area
- Extended over-hang on South side to shade upper windows
- Eliminate lower basement window and door facing South side on existing permitted plan, to allow fill material to bury South side of foundation to visually lower height of building
- Rock facing to be applied to lower basement to blend in with topography. Rock to be Elk Cove Moss from "Delta" tan/brown/rust colors
- Roofing the same as permitted house to the East
- Siding to be concrete lap siding
- Color to be flat paint #A-12 / *Certain Teed Weathered Wood*
- Windows to be Grey or Bronze over low E glass with less than 11% exterior visible light reflectivity rating
- Driveway location will revert to the same as the original house, which is the Eastern side of the North wall of the house facing Gosnell Road

Re: National Scenic Area Letter Amendment, More Information Required (NSA-07-72-L2) – tax parcel no. 03-10-21-3-0-0704-00.

Please accept this amendment request for consideration on the existing permitted structure at 62 Gosnell Road, Underwood, WA.

These amendment modifications will, I believe, make the requested structure less visible from the scenic area than the existing permitted structure. We offer several points as follows

-Per the Scenic Act, (b) *The walls of the replacement structure shall be the same height as the walls of the original structure.....* The permitted overall height is 33 feet from the top of the footing to the top of the structure. Due to the fact that the amended design uses a 1¹/₄/12 pitch flat type roof as opposed to the permitted peak design of a 5/12 pitch, the permitted height of 33 feet would be to the top of the highest wall. We are proposing that the top of the highest wall will be 32.5 feet on the southwest corner of the structure (over the area with the subbasement). Note that the footer of this subbasement is subgrade, so the above grade height is 28 feet. Further, the grade level on the south side of the house is extended beyond the southeast corner of the house so from no viewpoint from the Gorge area will the house appear to be more than 28 feet above grade. The southwest corner wall height is 30 feet from the top of the footer to the top of the wall. The roof line has been changed from a classical peaked roof as permitted to one of a lesser pitch to minimize overall visual effect. This design will eliminate the previous large expanse of exposed roof so that only the elevation of the house is visible.

While the current permitted plan meets height requirements from the top of the foundation footing, it exposes a mass of concrete area plus two stories of house above. There was a door and window in the bottom area giving an appearance of mass due to considerable visual presence of the total elevation. By eliminating the door and window from the south side lower basement of the house and providing soil in front of this foundational area, the visual height of the house is reduced. Further, natural rock will face the remaining area of lower basement making it look like part of the landscape and eliminate reflectivity whereas the original plan was bare concrete.

-Per the Scenic Act, (J) *Unless expressly exempted by other provisions in this chapter, colors of structure on sites visible from key viewing areas shall be dark earth-tones found at the specific site or in the surrounding landscape, and (K) The exterior of buildings on lands seen from key viewing areas shall be composed of nonreflective materials with low reflectivity, unless the structure would be fully screened from all key viewing areas by existing topographic features, and (c) Continuous surfaces of glass unscreened from key viewing areas shall be limited to ensure visual subordination.* The center section of the south side of the house facing the Gorge is recessed, so that the windows in this section, and indeed this recessed section of the house in general will appear as a black void from the viewing area. A roof section is added over this recessed area to prevent the sun from reflecting off the windows in this section eliminating visibility. Windows in the recessed area can be considered to be screened. This will serve to break the appearance of the larger area of the front of the house in the original

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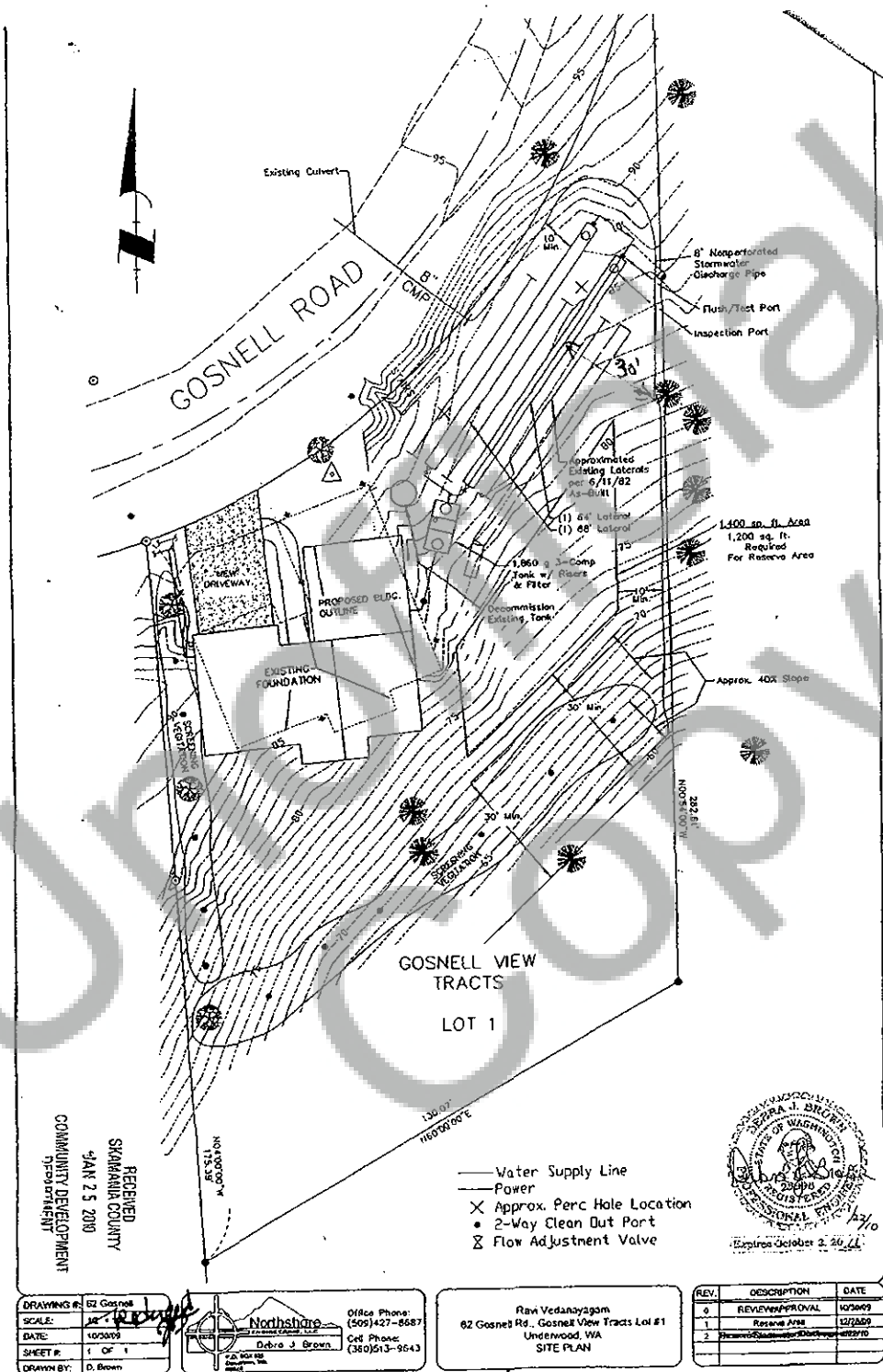
plan to two smaller areas and a visually 'eliminated' area.. An extended roof overhang has been added to shade the upper windows to eliminate their visibility.

South facing lower basement exposed wall will be faced with Elk Cove Moss from 'Delta' and is a combination of tan/brown/rust colors. Roofing will be CertainTeed Heather Blend color (dark brown/dark grey colors). Siding will be concrete lap siding, color to be flat paint #A-12 from the Gorge Handbook color chart. All materials are dark earth tone in color, and are considered nonreflective or materials with low reflectivity. Approximately 45% of the south side of the house will be screened by vegetation leaving less than 50 square feet of continuous unscreened glass on the south side of the house.

As noted in the application, low reflectivity glass is used in all windows with a rating of less than 11% reflectivity, and will be grey or bronze over low E glass. Additionally, the windows will be recessed from the face of the walls by a minimum of 5". This inset will partly shade them partially eliminating sun highlighting the window area.

-Per the Scenic Act, (a) The footprint of the replacement structure may be up to ten percent (10%) larger than the footprint of the original structure.

Please find attached the measurements and square footage of the foundation from the existing house including the appropriate scale. These dimensions of the original foundation agree with those shown for the footprint of the existing foundation in the existing permit. However, we find an error in the square footage listed in the finding for the existing permit. We have accurately measured these dimensions to the nearest inch, and including the garage the total previous structure footprint is 2,036 square feet. Allowing 10% additional provides for a new structure footprint maximum of 2,240 square feet (not the 1,874.40 square feet noted in the permit). We are proposing a structure footprint of 2,238.5 square feet, less than the allowable 10% increase. This existing foundation is still remaining allowing for easy verification of its dimensions. A scale is included with each drawing. In addition, the existing permit has a deck area of 388 square feet. We have reduced this area to 192 square feet, 128 square feet of which is recessed into the interior of the house. This provides a net visual reduction of the deck's size of 324 square feet or 64 square feet which is a visual reduction of 83.5% from the current permit.



previously approved

ELEVATION DRAWINGS:

LOT # 03102130070400



LOOKING NORTH FROM COLUMBIA RIVER

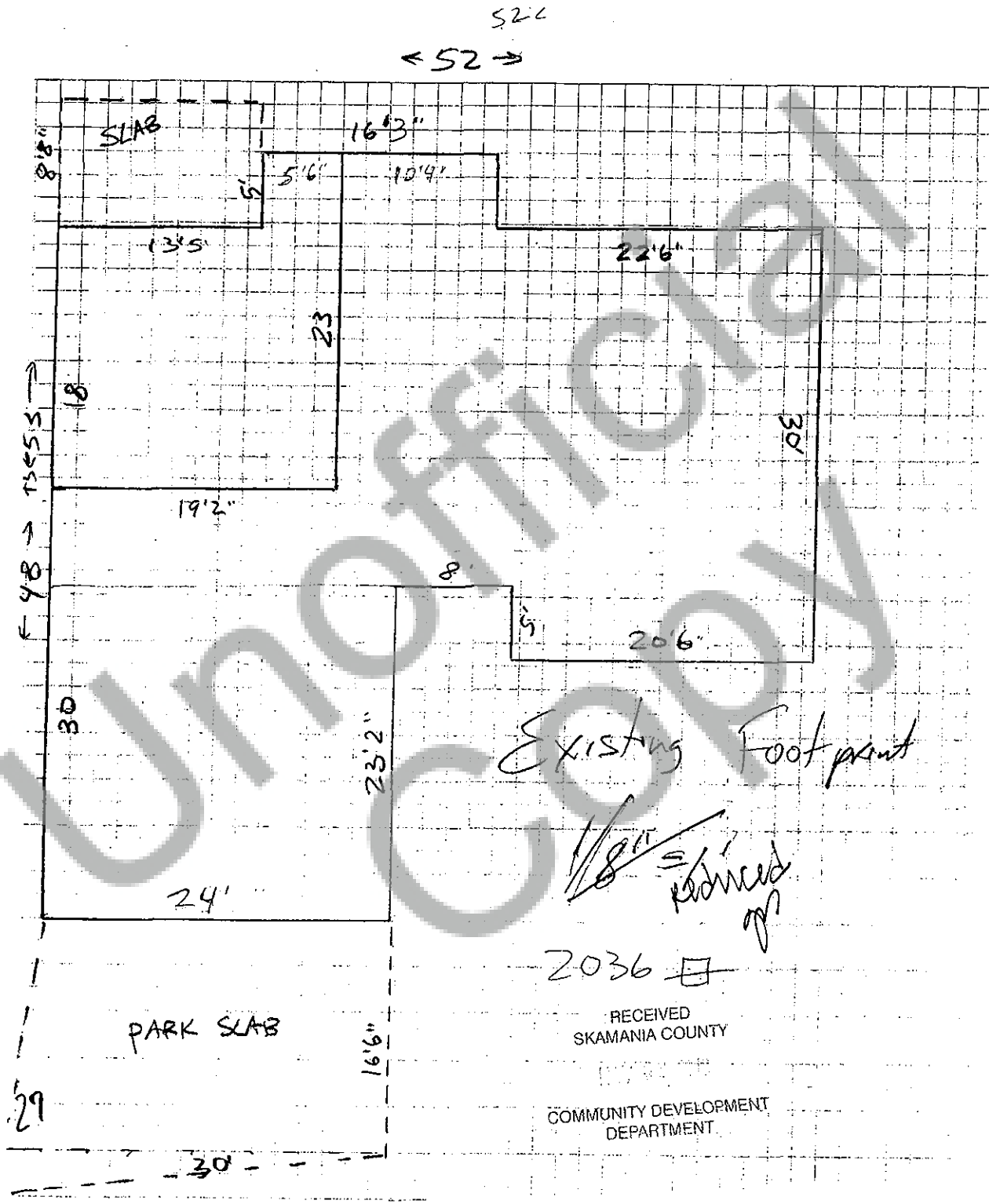


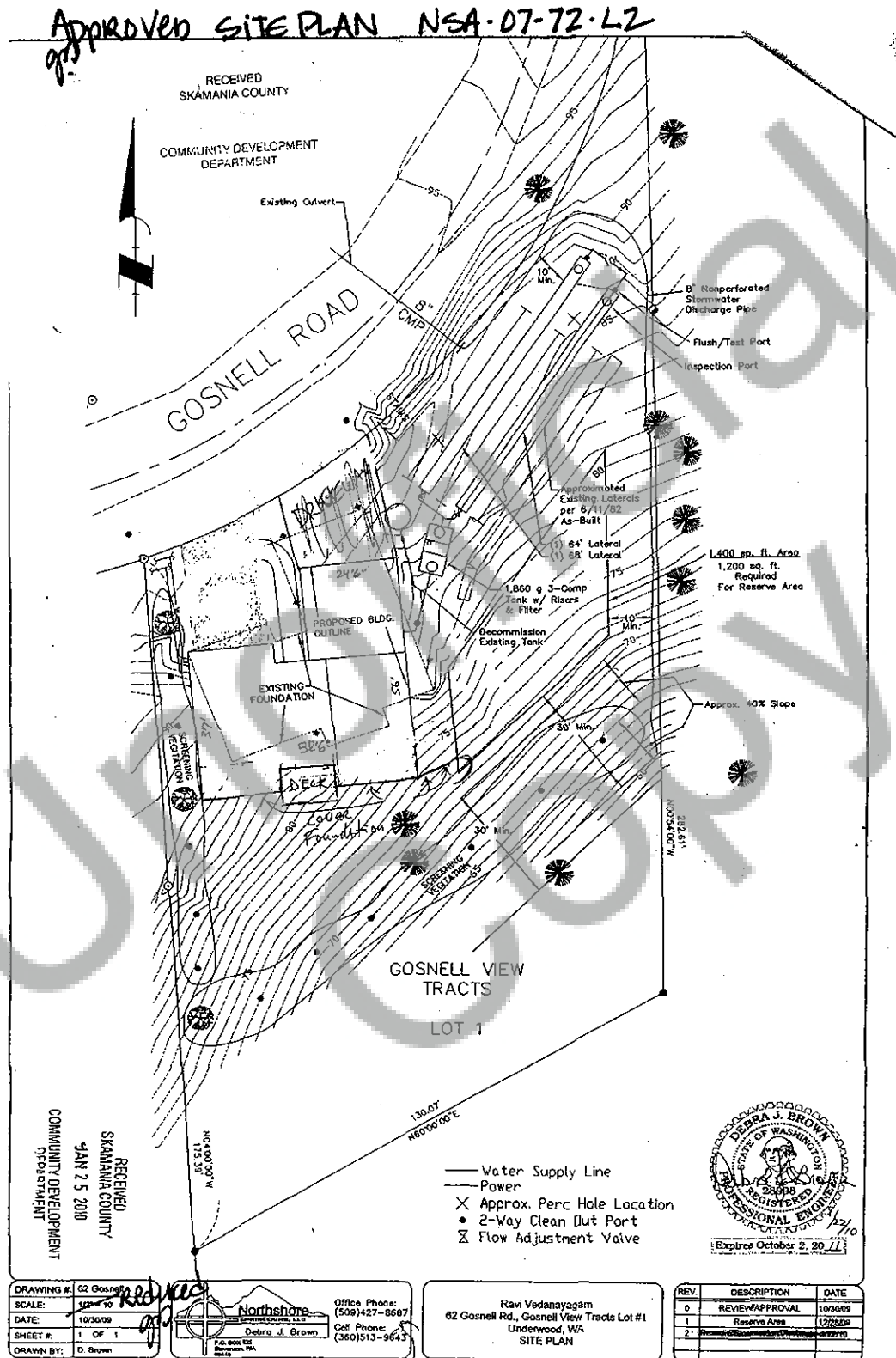
LOOKING FROM WEST SIDE TO EAST

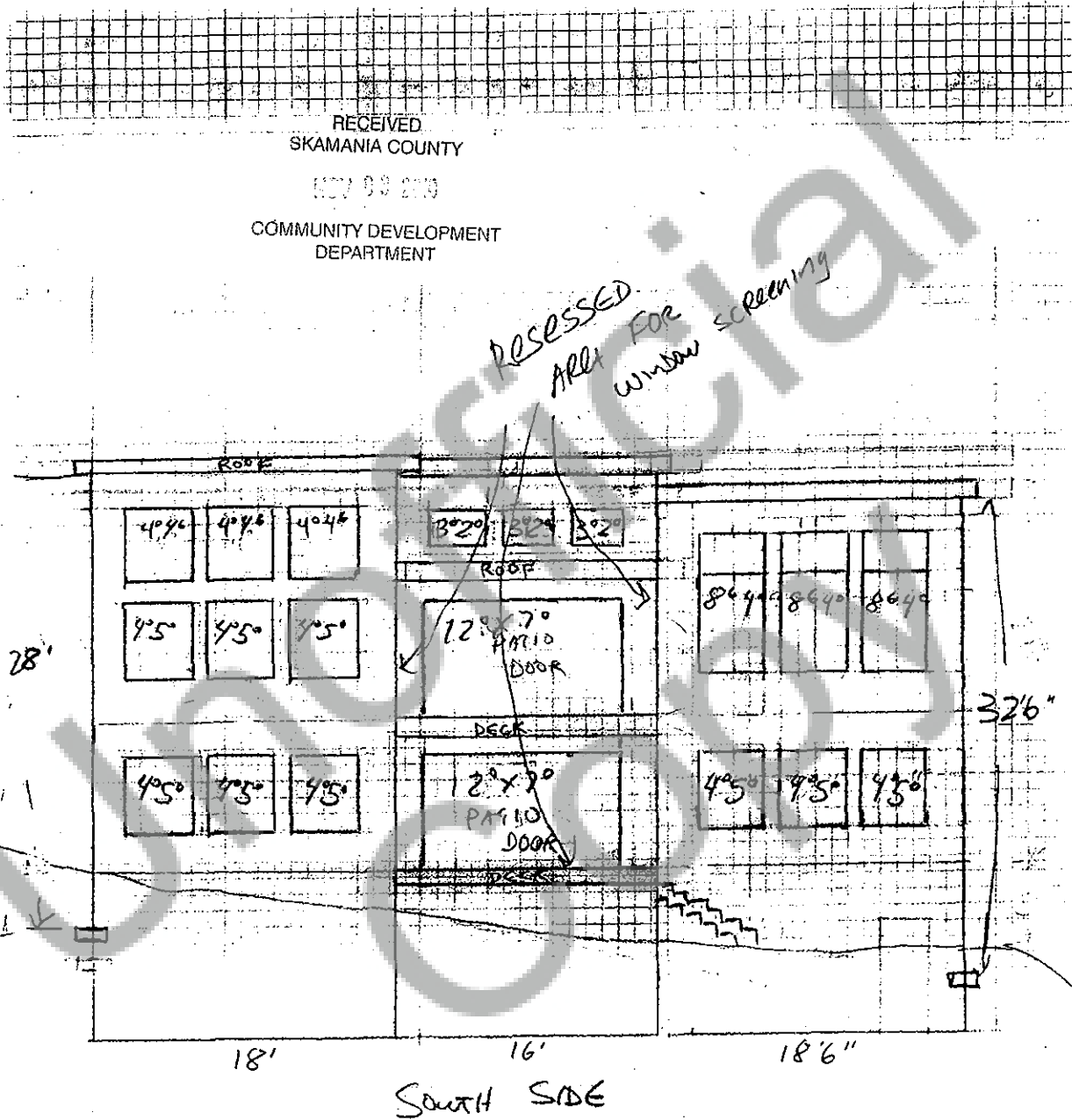
Previously approved

Additional pages must have 1" margin.

Elevation drawings must be in ink.







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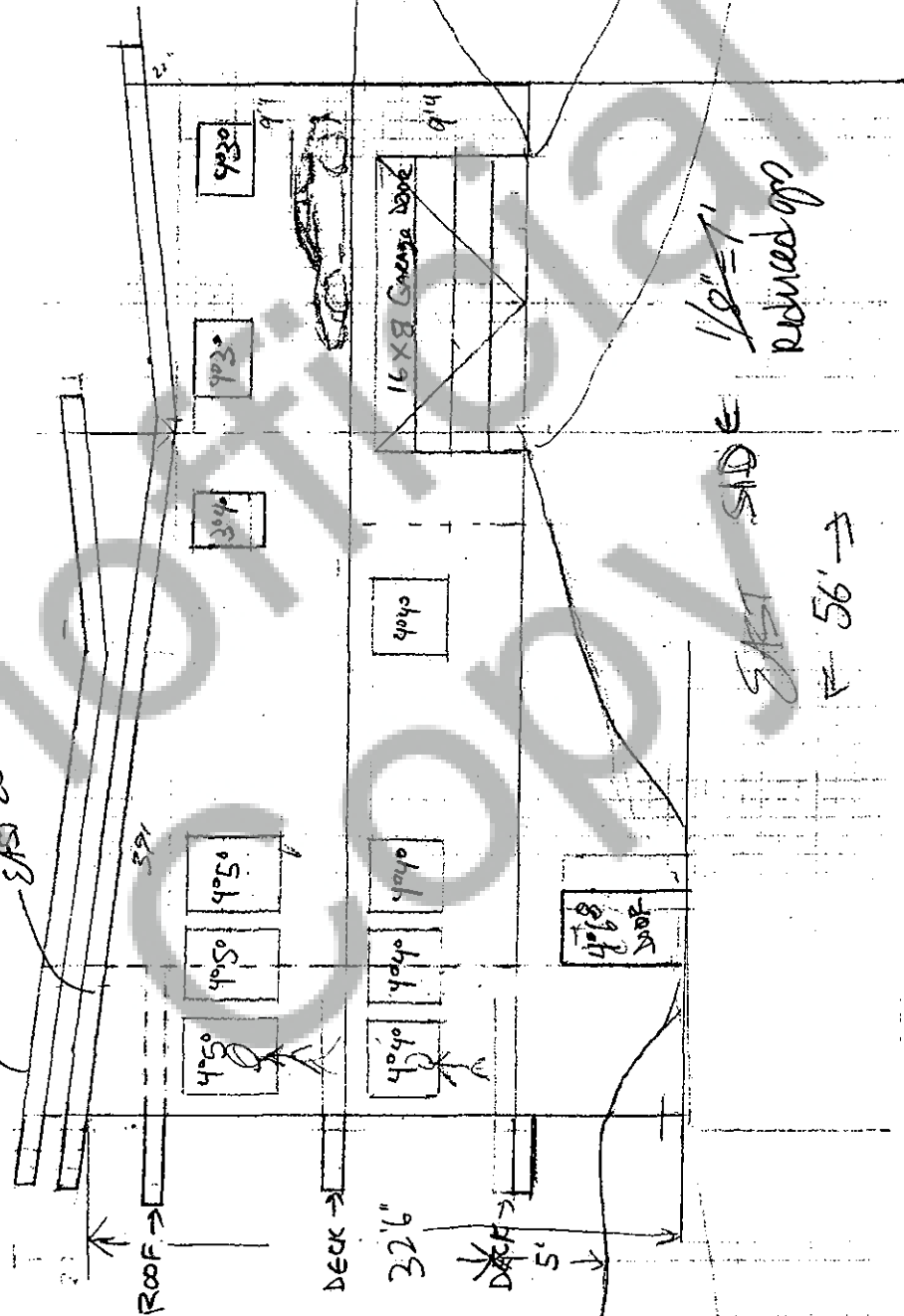
1/4" X 12 pitch

Top of Footing to Top of wall

Top of Footing to Top of wall

WEST ELEVATION - 28'

WEST ELEVATION 32'6" Top of Footing to Top of wall



1/8" = 1'
revised 09/09

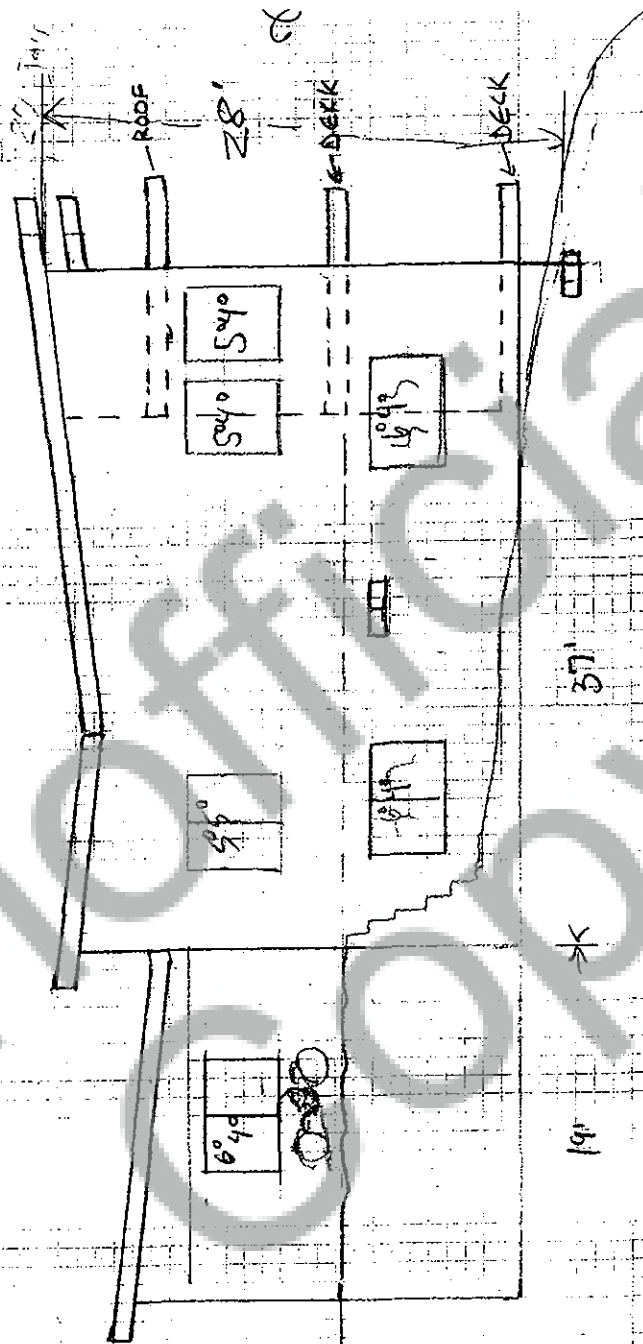
EAST SIDE

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1 1/2" / 12" pitch roof



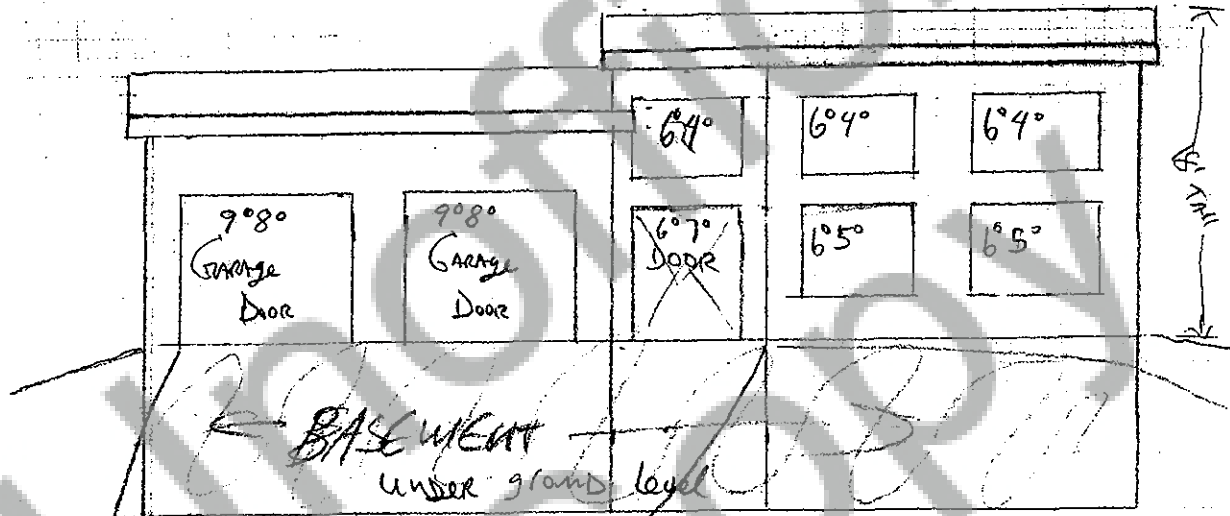
WEST SIDE
28' TALL - Top of Footing
To Top of Wall

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← 53' →

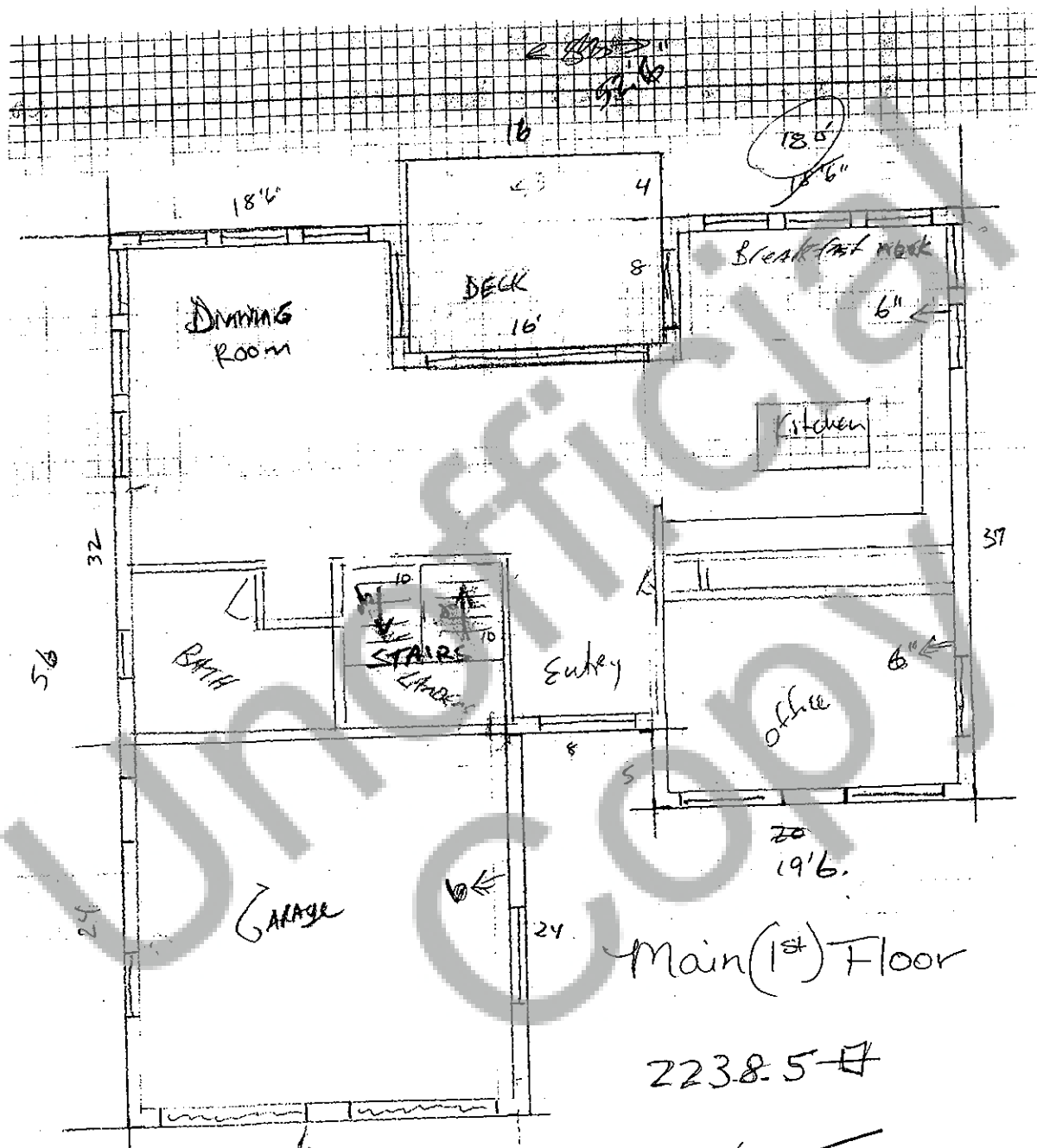


Demolition

East
North

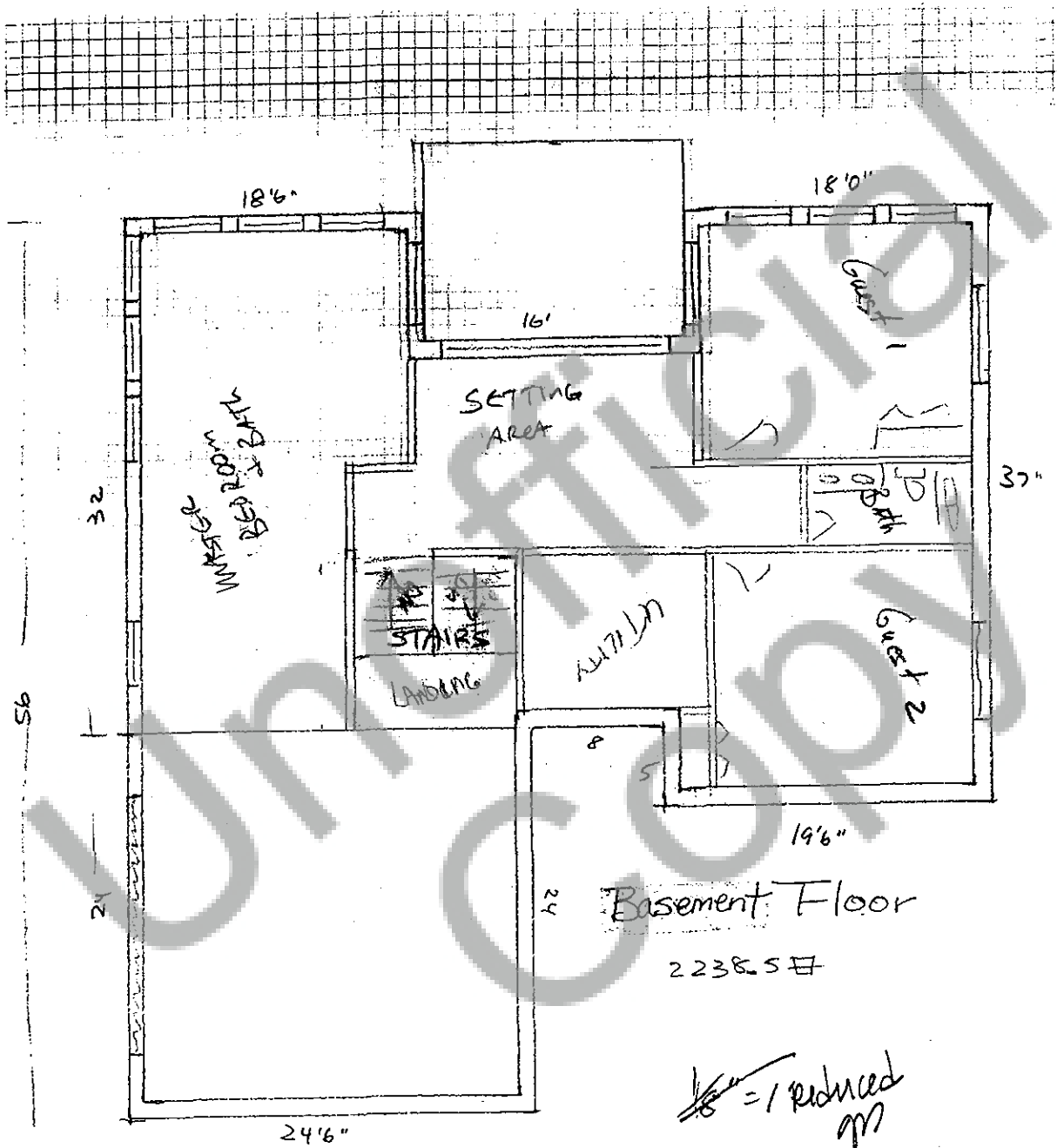
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Gosnell Rd.



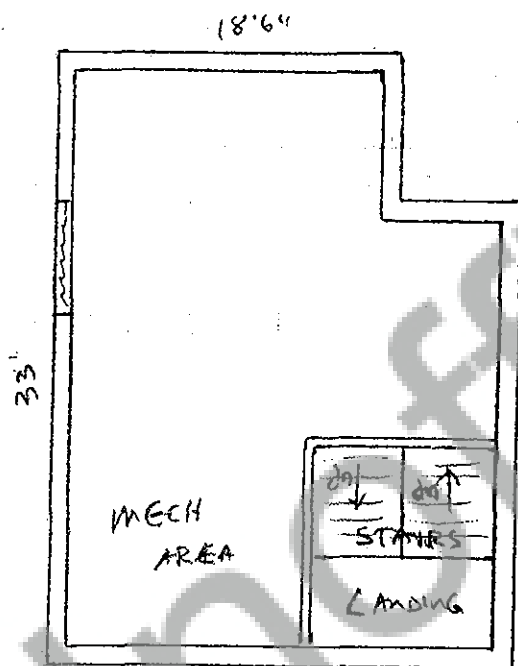
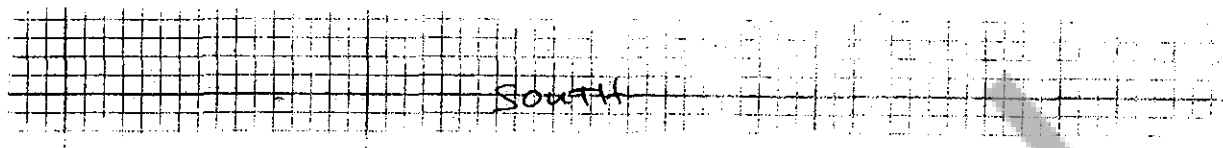
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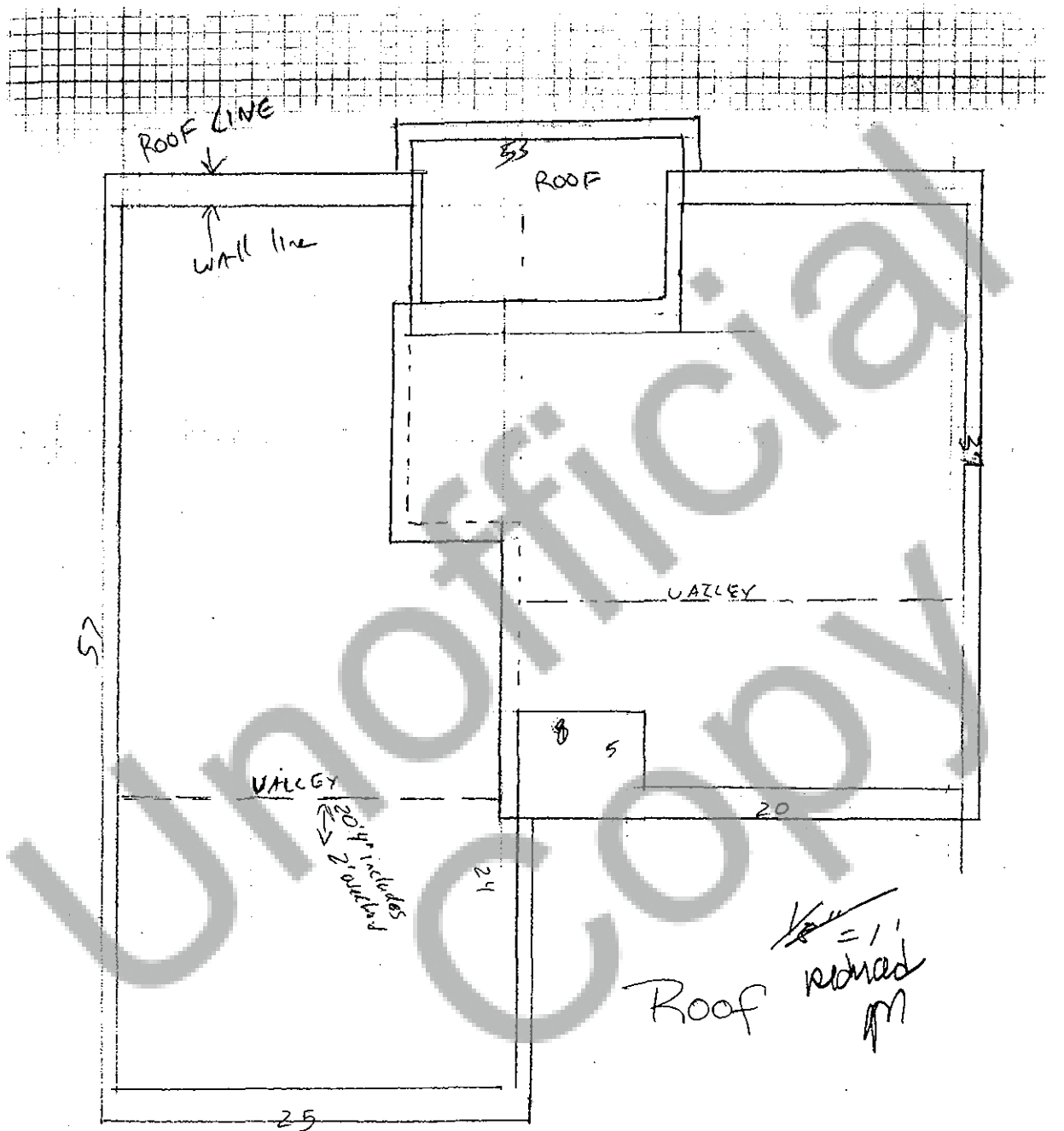
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Sub Basement

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SKAMANIA COUNTY

North

COURTNEY DEVELOPMENT
BENJAMIN

8

